



REGULAR MEETING OF COUNCIL AGENDA

Monday, September 9, 2024 at 7:00 p.m.

Council Chambers

325 Wallace Street, Hope, British Columbia

For those in attendance at District of Hope Open Council Meetings and Public Hearings, please be advised that the Hope Ratepayers Association is recording these meetings and hearings. The District, in no way, has custody or control of the recordings. Therefore, all persons who do not want their presentation or themselves recorded, please approach the Clerk to declare same and the District will relay this to the Association so that you can freely speak.

1. CALL TO ORDER

Mayor to acknowledge that the meeting is being held on the traditional, ancestral and unceded territories of the Stó:lō people, particularly the Chawathil, Union Bar and Yale First Nations.

2. APPROVAL OF AGENDA

Recommended Resolution:

THAT the September 9, 2024, Regular Council Meeting Agenda be adopted, as presented.

3. ADOPTION OF MINUTES

(a) Regular Council Meeting

(1)

Recommended Resolution:

THAT the Minutes of the Regular Council Meeting held August 12, 2024, be adopted, as presented.

4. DELEGATIONS

(a) BC Housing

(6)

Representatives from BC Housing will be in attendance to provide an update pertaining to the development of 1275 7th Avenue and 650 Old Hope Princeton Way.

5. STAFF REPORTS

- (a) **Report dated September 9, 2024 from the Fire Chief** (15)
Re: Support for Grant Funding – CEPF Volunteer and Composite Fire Department Equipment and Training

Recommended Resolution:

THAT Council supports the District of Hope's application to the Community Emergency Preparedness Fund (CEPF) Volunteer and Composite Fire Department Equipment and Training, indicating support for the current proposed activities and willingness to provide overall grant management.

- (b) **Report dated September 4, 2024 from the Fire Chief** (16)
Re: FireSmart Program Update

Recommended Resolution:

THAT Council supports the grant application to UBCM's Community Resiliency Investment Program – 2024/2025 FireSmart Community Funding and receives this report for information regarding the current status of the Hope FireSmart program.

- (c) **Report dated September 4, 2024 from the Fire Chief** (19)
Re: Budget Adjustment for Chassis Purchase 2024

Recommended Resolution:

THAT Council approve an increase in the capital budget from \$160,000 to \$190,000 in order to support the replacement tender purchase due for delivery September 2025.

- (d) **Report dated September 3, 2024 from the Director of Finance** (20)
Re: Grant-in-Aid Policy

Recommended Resolution:

THAT the Grant-in-Aid Policy Amendment be adopted this 9th day of September, 2024.

6. COMMITTEE REPORTS

There are no Committee Reports.

7. MAYOR AND COUNCIL REPORTS

- (a) **Canyon Golden Agers** (23)

Letter dated August 8, 2024, regarding financial assistance request for exterior lighting replacement.

- (b) **Summer Road Ratepayers Association – Water System** (26)

8. PERMITS AND BYLAWS

- (a) **Report dated August 23, 2024 from the Fire Chief (41)**
Re: District of Hope Volunteer Fire Department Establishment and Fire and Safety Regulations Amendment Bylaw No. 1587, 2024

Recommended Resolution:

THAT *District of Hope Volunteer Fire Department Establishment and Fire and Safety Regulations Amendment Bylaw No. 1587, 2024* be read a first, second and third time this 9th day of September 2024.

- (b) **Report dated September 9, 2024 from the Director of Community Development (43)**
Re: Re-designate and Rezone 63040 Flood Hope Road

Recommended Resolution #1:

THAT *District of Hope Official Community Plan Amendment Bylaw No. 1588, 2024* be given first and second readings in order to redesignate the land use designation in the Official Community Plan for the property 63040 Flood Hope Road from Highway Commercial to Light/Service Industry; and

FURTHER THAT the public be notified in accordance with the *District of Hope Application Procedures and Public Hearing/Information Meeting Procedural Bylaw No. 13/93*, the *Local Government Act* and the *Community Charter*; and

FURTHER THAT the Council of the District of Hope has considered the duty to consult regarding *Official Community Plan Amendment Bylaw No. 1588, 2024* and concurs with the Director of Community Development that consultation be undertaken with the Ministry of Transportation & Infrastructure, the District of Hope Director of Finance, and the District of Hope Director of Operations.

Recommended Resolution #2:

THAT *District of Hope Zoning Amendment Bylaw No. 1589, 2024* be given first and second readings in order to rezone the property 63040 Flood Hope Road from Highway Commercial (C-2) to Light/Service Industrial (I-2); and

FURTHER THAT the public be notified in accordance with the *District of Hope Application Procedures and Public Hearing/Information Meeting Procedural Bylaw No. 13/93*, the *Local Government Act* and the *Community Charter*.

- (c) **Report dated August 28, 2024 from the Planner III (59)**
Re: Temporary Use Permit Renewal at 62870 Flood Hope Road

Recommended Resolution:

THAT Council approve the preparation of a renewal of a three year Temporary Use Permit to allow for the third party storage of equipment and construction material, four Modular Storage Units, as well as the placement of two construction offices, a covered shelter, and a recreation vehicle at 62870 Flood Hope Road, legally described as Lot 1 District Lot 53 and of Sec 6 TWP 5 RGE 26 W6M YDYD Plan KAP49703; PID 018-249-663; and

FURTHER THAT Council authorize staff to proceed with public notification that a Temporary Use Permit for 62870 Flood Hope Road will be considered at a future Council meeting in accordance with District of Hope Bylaws and provincial legislation.

**(d) Report dated September 9, 2024 from the Director of Community Development (65)
Re: Form & Character Development Permit – 1275 7th Avenue**

Recommended Resolution:

THAT an Intensive Residential Development Permit for 56 supportive housing units and 15 shelter beds be approved at 1275 7th Ave, legally described as Lot 5A Block 3 Townsite of Hope Suburban, PID 001-891-740; and

FURTHER THAT the Director of Community Development be authorized to approve minor changes to the Development Permit; and

FURTHER THAT for purposes of the Intensive Residential Development Permit validity period, the conditions of the Development Permit shall expire on September 9, 2026; and

FURTHER THAT for purposes of any associated building permit, as per Section 504 of the *Local Government Act* “substantially start any construction” shall mean the completion of the building foundation.

**(e) Report dated August 22, 2024 from the Director of Finance (82)
Re: 2025-2029 Permissive Tax Exemption Bylaw No. 1585**

Recommended Resolution:

THAT *District of Hope 2025 - 2029 Permissive Tax Exemption Bylaw No. 1585, 2024* be given first, second and third reading, this 9th day of September, 2024.

**(f) Report dated August 22, 2024 from the Director of Finance (968)
Re: 2025-2034 Permissive Tax Exemption Places of Worship Bylaw No. 1586**

Recommended Resolution:

THAT *2025-2034 Permissive Tax Exemption Places of Worship Bylaw No. 1586, 2024*, be given first, second, and third reading, this 9th day of September, 2024.

9. FOR INFORMATION CORRESPONDENCE

(a) For Information Correspondence (1213)

Recommended Resolution:

THAT the For Information Correspondence List dated September 9, 2024, be received.

(b) Accounts Payable Cheque Listing – August 2024 (1234)

Recommended Resolution:

THAT the Accounts Payable Cheque Listing for the period of August 1 - 31, 2024, be received.

10. OTHER PERTINENT BUSINESS

**(a) Letter of Support (1243)
Re: Mount Hope Senior Citizen Housing Society**

Recommended Resolution:

THAT Council issue a Letter of Support for the Mount Hope Senior Citizen Housing Society’s application to the New Horizons grant opportunity in order to purchase and install a heat pump system.

11. QUESTION PERIOD

Call for questions from the public for items relevant to the agenda.

12. NOTICE OF NEXT REGULAR MEETING

Monday, October 15, 2024 at 7:00 p.m.

13. ADJOURN REGULAR COUNCIL MEETING

MINUTES OF THE REGULAR COUNCIL MEETING

Monday, August 12, 2024
Council Chambers, District of Hope Municipal Office
325 Wallace Street, Hope, British Columbia

Council Members Present: Mayor Victor Smith
Councillor Heather Stewin
Councillor Angela Skoglund
Councillor Pauline Newbigging
Councillor Dusty Smith
Councillor Zachary Wells

Council Members Absent: Councillor Scott Medlock

Staff Present: John Fortoloczky, Chief Administrative Officer
Donna Bellingham, Director of Corporate Services

Others Present: 10 members of the Public and 1 Media

1. CALL TO ORDER

Mayor Smith called the meeting to order at 7:00 p.m.

The Mayor acknowledged that the meeting is being held on the traditional, ancestral and unceded territories of the Stó:lō people, particularly the Chawathil, Union Bar and Yale First Nations.

2. APPROVAL OF AGENDA

Moved / Seconded

THAT the August 12, 2024, Regular Council Meeting Agenda be adopted, as presented. **CARRIED.**

3. ADOPTION OF MINUTES

(a) Regular Council Meeting

Moved / Seconded

THAT the Minutes of the Regular Council Meeting held July 8, 2024, be adopted, as presented. **CARRIED.**

4. DELEGATIONS

(a) Presentation

Mayor Smith presented Mr. Ian Williams with two copies of the Communities in Bloom Hope Profile Book. Mr. Williams thanked the Mayor and noted that one copy will be presented at the Royal Canadian Legion's National Convention during Mr. Williams attendance this year, and the other will be given to the new Legion president. The Mayor also presented Mr. Williams with a carving to recognize his dedication, leadership, and continued success as president of the Royal Canadian Legion Branch 228 in Hope and the many organizations he volunteers with.

Council inquired as to what the requirements are for new members to join the Legion. Mr.

Williams stated that prospective members must be 19 years old, a citizen of Canada, and be a person of good repute. He encouraged new and existing members to come down and support the Legion in their various events.

5. STAFF REPORTS

- (a) **Report dated August 12, 2024 from the Planner III**
Re: ALC Non-Farm Use Application

Moved / Seconded

THAT Council authorize the Non-Farm Use application for a boat launch on Crown Land (PIN 4642150), adjacent to 20711 Bristol Slough Road, to proceed to the Agricultural Land Commission. **CARRIED.**

- (b) **Report dated August 6, 2024 from the Director of Corporate Services**
Re: Deaccession of Museum Artifacts

Moved / Seconded

THAT Council authorize Hope Business and Development Society (A.K.A. AdvantageHOPE) to deaccession the items listed in the attached *August 2024 – Hope Museum Artifacts for Deaccession*. **CARRIED.**

Sarah Brown, Museum Curator, briefly explained the accession and deaccession process for the items in the Hope Museum collection and noted that work is ongoing to review the estimated 3,500 items in the collection. She added that the BC Museums Association has a system in place that allows museums to communicate and offer collection items for transfer that may be more relevant elsewhere. The Director of Corporate Services advised that more museum deaccession lists will be coming forward to Council as the review continues.

Council inquired as to what will happen to the items that are deaccessioned. Ms. Brown advised that it will depend on the condition of the item and whether another museum would like to add it to their collection. She added that some items could be sold, but the focus will be on maintaining the collection and transferring to other museums. Council inquired as to whether the museum will be accepting new items from the public. Ms. Brown advised that it is preferable that people hold onto items until a new museum location is established.

6. COMMITTEE REPORTS

There were no Committee Reports.

7. MAYOR AND COUNCIL REPORTS

Mayor Smith Reported:

- He attended meetings on the Chilcotin River Landslide, noting that the water rose approximately 2.5 feet at its peak before dropping back to its regular level. He added that the debris was not as noticeable near Hope.
- He spoke at the opening of Camp Hope along with Kristine Perez de Leon from the Hope Mountain Centre who showed a presentation of last year's volunteers from the camp that worked and contributed to trail maintenance in the Hope area.
- He announced the Shredit Day was a success, noting that people were able to

bring personal and business documents to be shredded in order to protect their personal information. He added that the event was hosted by local RCMP, the Hope & District Chamber of Commerce, Hope Crime Prevention and the District of Hope, with funding from Enbridge.

- He announced that the new bottle depot is now open at 517A Corbett Street, with extended hours from 9:00 a.m. to 4:00 p.m. He thanked Kelton Construction for their efforts to get them open quickly.
- He announced that the first two Othello Tunnels will be opening August 19th, with the remainder opening next year after extensive work is completed. He thanked the Provincial government for their efforts to reopen this important attraction.
- He noted that the opening of the ice arena may be delayed until the first week in September to allow for the completion of major projects. He added that the change from ammonia to CO2 cooling will make the arena safer, significantly reduce the carbon footprint, and reduce the cost of operations.
- He thanked two District staff members for making a difference in the province and making the District of Hope proud:
 - Chief Administrative Officer John Fortoloczky will be reviewing the graduation parade of B.C. reserve soldiers qualifying as infantry privates through his appointments as Commanding Officer of the 39 Canadian Brigade Group Territorial Battalion Group and Commander of the 39 Canadian Brigade Group Battle School.
 - Director of Finance Mike Olson will be speaking at a Government Finance Officers Association of BC conference in Victoria for new members of municipal finance.

Councillor Skoglund Reported:

- She attended a Tour de Cure fundraiser for Cathy Harry's Kal Tire Team, noting that just over \$10,000 was raised, with Kal Tire contributing an additional \$10,000 through their employee matching program.
- She noted that the Tour de Cure will take place on August 24th and 25th and encouraged the public to attend and cheer the local riders on as they arrive in Hope on the 25th.
- She attended the Fundraiser on the Fraser with proceeds going to the Fraser Canyon Hospice Society.
- She noted that the tire stewardship promotion at Kal Tire on August 9th was cancelled and will not take place again until next year.

Councillor Smith Reported:

- He attended the 3rd Annual Sunshine Valley Car Show, noting that there were 122 cars registered and that he won one of the awards for the best 70's vehicle.
- He noted that the Fraser Valley Mountain Bikers Association is working on Mount Hope to create trails, with six out of ten areas completed so far. He added that they have plans for a loop trail and to tie the network into other existing trails in the future.
- He visited tourism centers in other communities on his vacation, noting that

tourism numbers are down across the board.

Councillor Newbigging Reported:

- She announced that the Rotary Club is going their annual Duck Race on September 9th at 12:00 p.m., with the ducks being dropped at the Coquihalla Bridge and collected at the golf course bridge.
- She attended and helped host the Fundraiser on the Fraser, with \$11,000 raised for the Fraser Canyon Hospice Society and \$3,800 raised for the adult daycare program.
- She attended the Legion Golf Tournament August 10th, noting that it was the largest tournament this year with 72 players participating. She also attended the Legion meat draw and barbeque.
- She thanked District staff for their work taking care of plants downtown during the summer season.
- She noted that she received a concern regarding the lineup for the sani-station at the Coquihalla Campground which was creating a safety issue by causing traffic to back up onto nearby streets and preventing vehicles from turning. She added that there are concerns regarding individuals from outside of town utilizing the campground sani-station to empty their trailers, and inquired as to whether the District should be charging for usage.

Councillor Smith noted that this has been attempted in the past at the campsite sani-dump, but the system was removed within three months due to monitoring difficulties. He added that some communities charge or ask for donations for dumping, but many still provide the service for free.

Councillors Stewin and Wells had nothing to report.

8. PERMITS AND BYLAWS

- (a) Report dated July 23, 2024 from the Planner III
Re: Development Variance Permit for 62505 Airport Road**

Moved / Seconded

THAT Council approve the issuance of a Development Variance Permit to reduce the side lot line setback for an animal shelter from 30m to 14m on the property at 62505 Airport Road legally described as Lot 1 Section 7 Township 5 Range 26 west of the 6th Meridian Kamloops Division Yale District Plan 9903; and

FURTHER THAT the Director of Community Development be authorized to endorse the Development Variance Permit. **CARRIED.**

9. FOR INFORMATION CORRESPONDENCE

- (a) For Information Correspondence**

Moved / Seconded

THAT the For Information Correspondence List dated August 12, 2024, be received. **CARRIED.**

- (b) Accounts Payable Cheque Listing – July 2024**

Moved / Seconded

THAT the Accounts Payable Cheque Listing for the period of July 1 - 31, 2024, be received. **CARRIED.**

10. OTHER PERTINENT BUSINESS

11. QUESTION PERIOD

AdvantageHOPE staff inquired as to whether it would be possible to have the District watering truck water the flowers at the Visitor Center while they are completing their morning route. The CAO advised that he would look into this request.

12. NOTICE OF NEXT REGULAR MEETING

Monday, September 9, 2024 at 7:00 p.m.

13. ADJOURN REGULAR COUNCIL MEETING

Moved / Seconded

THAT the Regular Council Meeting adjourn at 7:44 p.m. **CARRIED.**

Certified a true and correct copy of the Minutes of the Regular Meeting of Council held August 12, 2024 in Council Chambers, District of Hope, British Columbia.

Mayor

Director of Corporate Services

650 Old Hope Princeton Way

Development Opportunity

Presented by Aliya Tejani, Senior Manager Regional Development

650 Old Hope Princeton Way - History

- Purchased in 2018 as 660/670 Old Hope Princeton Way
- Proposal for 52 supportive homes
- Failed rezoning in 2020
- New site under lease with FHA at 1275 7th Avenue for 56 supportive housing, 15 shelter beds + 15 EWR beds – rezoning approved
- House of Hope shelter at 650 Old Hope Princeton Way continues to operate until new building constructed & operational



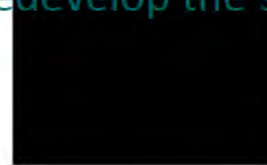
650 Old Hope Princeton Way - Options



House of Hope shelter to be demolished when new building opens.

Options for 650 Old Hope Princeton Way:

1. Sell the site
2. Redevelop the site



650 Old Hope Princeton Way - Opportunity

- Diversity of housing options still needed in the District of Hope across the housing continuum

Opportunities:

1. Affordable rental through the Community Housing Fund (CHF), in partnership with a housing provider.
2. Housing for women and children fleeing violence through the Women's Transition Housing Fund Program (WTHFP).



Community Housing Fund (CHF)



The Province of British Columbia created the Community Housing Fund (CHF) in 2018 to develop affordable rental housing for families, independent seniors and individuals.

PRHC partnership with a non-profit operator, leasing the land for the development of affordable rental homes.

Women's Transition Housing Fund

Women's Transition Housing Fund (WTHF) was created in 2018 to fund the operations of Women's Transition Housing and Supports Program (WTHSP) housing across BC.

The program supports women, gender-diverse people, and children who are at risk of violence or who have experienced violence. It provides housing and support services, referrals and assistance in planning next steps.

Opportunity for this site would be for Second Stage and Long-term Housing.



Women's Transition Housing Fund

Second Stage Housing

Private, secure, low-cost apartment or townhouse unit where you can live safely and independently for 6-18 months. Staff are available to provide emotional support, safety planning and referrals.

Long term housing

Long-term housing provides subsidized rental housing using a rent-geared-to-income model (30% of household's gross income, with min rent based on number of people in household). Some tenant supports are available including safety planning and referrals.



Development Opportunity

- Requires rezoning
- RM1 zoning - 30 units of housing achievable on the site
- Site-specific zone, >30 units with additional height and setback reductions



1275 7th Avenue – Housing update



- BC Housing has partnered with the First Nations, District of Hope, Fraser Health and the Hope and Area Transition Society (HATS) to develop a new option for shelter and supportive housing in Hope.
- The project will be tendering the construction package in early October, construction to commence in early January 2025 and complete in early January 2026.
- Project provides 56 supportive housing units, 15 shelter beds and 15 EWR beds

REPORT/RECOMMENDATION TO COUNCIL

REPORT DATE: 2024-08-23

FILE: 7380-06

SUBMITTED BY: Fire Chief

MEETING DATE: Sept 9, 2024

SUBJECT: Support for Grant Funding – CEPF Volunteer and Composite Fire Department Equipment and Training.

PURPOSE:

The purpose of this report is to seek Council's support for the application to UBCM's Community Emergency Preparedness Fund – Volunteer and Composite Fire Department Equipment and Training.

RECOMMENDATION:

THAT Council supports the District of Hope's application to the Community Emergency Preparedness Fund (CEPF) Volunteer and Composite Fire Department Equipment and Training, indicating support for the current proposed activities and willingness to provide overall grant management.

A. Relevant History:

The District of Hope Fire Department is looking for funding opportunities for equipment and training. This funding will provide the Hope Fire Department an opportunity to acquire replacement equipment that will improve the resilience and effectiveness of the Hope Fire Department and also assist with wildfire. The funding for training will be used towards meeting the British Columbia Structure Firefighter Minimum Training Standards and wildfire training standards for structure protection.

B. Resources:

The District of Hope is responsible to provide overall grant management.

C. Budget Implications

Staff time to manage grant.

Prepared by:

Approved for submission to Council:

Original Signed by Thomas Cameron
Fire Chief

Original Signed by John Fortoloczky
Chief Administrative Officer



REPORT/RECOMMENDATION TO COUNCIL

REPORT DATE: September 4, 2024

FILE: 7380-01

SUBMITTED BY: Thomas Cameron, Fire Chief

MEETING DATE: September 9, 2024

SUBJECT: FireSmart Program Update

PURPOSE:

The purpose of this report is to update the Council on the progress made by the District of Hope FireSmart program against the strategic objectives outlined in the report presented on 2024-05-07 and to request Council's support for application to the 2024/2025 funding

RECOMMENDATION:

That Council supports the grant application to UBCM's Community Resiliency Investment Program – 2024/2025 FireSmart Community Funding and receives this report for information regarding the current status of the Hope FireSmart program.

BACKGROUND:

FireSmart Hope has met the three critical benchmarks that will allow for continued funding of the program through the Community Resilience Investment, (CRI), Program that is funded by the BC Ministry of Forests and administered through the Union of BC Municipalities. Those benchmarks were,

1. Hire and onboard a qualified, full time FireSmart resource to manage and promote FireSmart programs in the district.
2. Join and participate in a regional Wildfire Resilience Committee
3. Undertake to create and adopt a Community Wildfire Resilience Plan, (CWRP).

Alongside these funding pillar requirements, the following programs were planned for launch and execution over the summer.

1. Education and Community Engagement
2. Home Assessments
3. Rebate Program
4. Neighborhood Recognition
5. Critical Infrastructure Assessments

PROGRAM UPDATES:

Community Wildfire Resilience Plan

After receiving several bids through the RFP process, Frontera Forest Solutions was selected to be the districts consulting partner for the development of the Community Wildfire Resiliency Plan, (CWRP). That work is underway with a planned completion date in January, 2025. This work is fully funded through our 2023 CRI funding. Field work and stakeholder engagement will ramp up through the fall with a presentation to the council slated to be scheduled in November.

Education and Community Engagement

FireSmart Hope has attended eight, (8), community events including a Hope Garden Club meeting, the launch of the Hope Area Resilience Team, the Farmers Market and the Chawathil FireSmart Day. The team, alongside Ember the FireSmart mascot, will also be attending Brigade Days for all three days of the event.

Home Assessments

Since the program was launched in May there have been 61 free home assessments completed and reports delivered to the residents. 31 of the assessments were conducted under the Home Partners Program after the Hope Fire Department hosted a Wildfire Mitigation Specialist training event. This increased our local pool of certified assessors to a total of six. In addition, the course was attended by our local first nation partners and by fire departments from across the province. By offering the Home Partners Program in our district, residents can access insurance rebates and home certifications that enhance property values while ensuring they are as resilient as possible to the effects of wildfires.

Rebate Program

As a compliment to the Home Assessments program, FireSmart Hope also launched a CRI funded rebate program for residents undertaking any of the mitigation steps outlined in their home assessment report. To date five rebates have been processed for a total of \$1903.25. There remains \$16,096.75 in the 2023 rebate fund. Residents can qualify for rebates of up to \$500 to cover 50% of any real costs, or hours spent, addressing documented mitigation recommendations.

Neighborhood Recognition

There are currently three neighborhoods developing plans to be recognized as FireSmart Neighborhoods with the support FireSmart Hope. Lakeview Estates, Crystal River Court and Riverwynd. This process will open opportunities for

funded FireSmart community events, group activities and promotion of more individual home assessments. It also allows for national and local recognition.

In addition, the FireSmart team conducted seven, (7), Neighborhood Wildfire Threat Assessments in some of the districts highest risk areas. Namely, the East Kawkawa Lake and Thacker Mountain areas. These reports were sent to residents with the offer of individual home assessment included. In addition, they provide valuable data to the Frontera team as they develop the CWRP.

Critical Infrastructure Assessments

It was determined that to fully qualify for all possible mitigation funding opportunities in the upcoming 2024/2025 CRI funding, we would require Critical Infrastructure Assessments to be completed. After seeking and receiving approval from the UBCM to modify the action plan, twenty, (20), sites were approved. These assessments are underway and will be completed by September 31,2024.

STRATEGIC PLAN OBJECTIVES:

Goals and Priority Actions:

1. Complete and submit the UBCM Interim program report.
2. Complete CWRP build and associated community engagement
3. Complete 2024/25 CRI funding application.
4. Complete 2023 FireSmart plan activities.

Key dates:

1. UBCM Interim report- Sept. 15,2024.
2. CWRP completed- January 15,2025.
3. 2024/25 CRI funding application- Sept.31,2024.
4. 2023 FireSmart activities- April 30,2025.

BUDGET IMPLICATIONS:

This program and the contemplated programs outlined here are all funded through April 30,2025 and will be dependent on securing 2024/25 funding through the CRI to continue past that date. Some minor adjacent staff costs may be incurred for administration support and cross department meetings.

Prepared by:

Approved for submission to Council:

Original Signed by David Hick
David Hick, Assistant Chief
FireSmart Coordinator

Original Signed by John Fortoloczky
John Fortoloczky
Chief Administrative Officer



REPORT/RECOMMENDATION TO COUNCIL

REPORT DATE: September 4, 2024

FILE: 7380-01

SUBMITTED BY: Thomas Cameron

MEETING DATE: September 9, 2024

SUBJECT: Budget Adjustment for Chassis Purchase 2024

PURPOSE:

The Purpose of this report is to advise council of the change in cost for the chassis on the new Tender 3 replacement apparatus and to seek support from council to amend the capital budget for 2024.

RECOMMENDATION:

THAT Council approve an increase in the capital budget from \$160,000 to \$190,000 in order to support the replacement tender purchase due for delivery September 2025.

A. Budget Implications

Capital budget adjusted from \$160,000.00 to \$190,000.00 to cover the increased cost due to inflation for the replacement tender.

Prepared by:

Approved for submission to Council:

Original Signed by Thomas Cameron
Fire Chief

Original Signed by John Fortoloczky
Chief Administrative Officer



REPORT/RECOMMENDATION TO COUNCIL

REPORT DATE: September 3, 2024

FILE: 340-20

SUBMITTED BY: Mike Olson, CPA, CA, Director of Finance

MEETING DATE: September 9, 2024

SUBJECT: Grant in Aid Policy

PURPOSE:

To update the existing Grant in Aid Policy.

RECOMMENDATION:

THAT the Grant in Aid Policy Amendment be adopted this 9th day of September, 2024

BACKGROUND INFORMATION:

Grant in Aid Policy 203-06 was last revised on October 15, 2019, and will expire on December 31, 2024. The policy has been updated to include the years 2025 – 2029.

The updated policy allocates \$10,000 annually in the Financial Plan to be allocated at Council's discretion following each year's application process which is outlined in the policy.

The previous Grant in Aid Policy for the years 2020 – 2024 included \$10,000 in the Financial Plan.

Although not forming part of the policy, other Grants in Aid which are included in the annual Financial Plan as separate line items are: Hope Arts Council, Hope Crime Prevention Society and Hope Care Transit Society.

Attachments:

Draft Grant in Aid Policy

Prepared by:

Approved for submission to Council:

Original Signed by Mike Olson

Mike Olson, CPA, CA

Original Signed by John Fortoloczky

Chief Administrative Officer

DEPARTMENT: FINANCE		POLICY NUMBER: 203-06	
POLICY TITLE: GRANT-IN-AID			
Authority: Legislative: <input checked="" type="checkbox"/> (Council) Administrative: <input type="checkbox"/>		Effective Date: January 1, 2025 Expiry Date: December 31, 2029 Date for Review: August 2024	
		Issue Date: May 8, 2006 Revision Date: March 11, 2013 September 9, 2013 October 24, 2016 October 15, 2019	

PURPOSE

To allocate Grant in Aid funds in accordance with this policy.

POLICY

1. Overall Amount

The total amount for Grant in Aids set aside annually for budget purposes shall be as follows:

Budget Year	Amount
2025	\$10,000
2026	10,000
2027	10,000
2028	10,000
2029	10,000

2. Guidelines

Applicants must adhere to the following guidelines:

1. Programs/Activities/Events must:
 - i. strengthen and enhance the well-being of the community;
 - ii. promote volunteerism;
 - iii. be a District of Hope and area registered non-profit society;
2. Programs/Activities/Events must not:
 - i. offer direct financial assistance to individuals or families;
 - ii. duplicate services that fall within the mandate of either a senior government or a local service agency;
 - iii. be a part of a provincial or national fund-raising campaign.

Grant in Aid Policy

Grants in Aid fall into three categories:

1. **Seed grants** – for agencies or societies in their formative stages of development;
2. **Special Projects** – for agencies or societies staging a special event or activity; and
3. **Special Capital Expenditure** – for agencies or societies to purchase necessary capital items.

3. Process

The application process and invitations to apply shall be advertised yearly. Applications must be filed with the District no later than October 15th of each year.

Any approved Grants-In-Aid included in the current year's budget will be paid after the third Thursday in July of each year. Exceptions may be reviewed by Council upon receipt of written request by the interested groups.

Staff will review all Grant-in-Aid applications using the following Assessment Criteria and follow up with applicants for clarifying information if necessary. All applications will go before Council, with Council being the authority to provide Grant-in-Aids. Final approval, by Council, should be given no later than the end of the calendar year.

4. Criteria

Assessment Criteria are:

- a. Adherence to current funding guidelines;
- b. Quality and excellence of the product;
- c. Demonstrated financial need within the organization;
- d. Demonstrated ability of the applicant to carry out the project;
- e. Anticipated impact and benefits to the community.

5. Conditions of funding:

- a. The applicant must acknowledge the support of the District of Hope in all print and publicity material related to the project, including banners and signs on site during the event;
- b. Funds must be used for the purpose for which they were requested. Should the project or event not proceed the funds must be returned to the District of Hope; and
- c. At the completion of the project, the applicant must submit a final written submission to Council with:
 - i. a brief evaluation of the project/event;
 - ii. confirmation that the funds were used as per the approved application.

6. Term:

This revised Grant-in-Aid Policy will be in effect for the 2025 – 2029 budget years.

Canyon Golden Agers
Branch #142 -560 Douglas Street
PO Box 1901
Hope, BC VOX 1L0

RECEIVED
AUG 08 2024
DISTRICT OF HOPE

August 8, 2024

District of Hope
Box 609
Hope, B.C.
VOX 1L0

ATTENTION: MAYOR AND COUNCIL

Dear Mayor and Council:

As you are aware, the building the members of the Canyon Golden Agers' Society have beneficial ownership of, and occupy, is now in excess of 40 years old. The building is in reasonably good condition however there are some significant expenditures required. While our Society does not have the revenue capacity to develop a "Sinking Fund" to manage these major expenditures, we do fund raise as best we can. An example of a major expenditure would be the eventual replacement of the roof.

Our current major need is to replace the interior and exterior lighting in the building. The current 40+ year old fixtures are deteriorating, and their operation is not cost efficient and sometimes is troublesome. We wish to replace these fixtures at the earliest possible time.

To that end, we have consulted with "UES Electrical Services Inc." from Chilliwack and have received a reasonable quote to replace the fixtures and lighting with LED lights. This quote is \$8,788.50 and their quote is attached for your reference.

The quote does not include drywall, paint or other repairs due to required electrical wiring routes. Since the membership of the Society are not physically capable of doing these repairs, this work must also be contracted. The cost of this work is unknown until the lighting replacement work is completed.

The Society has managed to fund-raise and dedicate \$2,000.00 towards this project and we are requesting financial assistance from the District of Hope for the balance.

....page 2/

...page 2/

Thank you for your kind consideration and we look forward to your positive response to this request.
We are available to answer any of your questions or concerns regarding this request.

Thank you.

Very truly yours

CANYON GOLDEN AGERS' SOCIETY

Addie Murphy
President





UES Electrical Services Inc.

46231 Tournier Place | Chilliwack, British Columbia V2R 6A2
 1-855-791-2800 | Sales@universalelectrical.ca | www.universalelectrical.ca

RECIPIENT:

Canyon Golden Age Club
 560 Douglas Street
 Hope, British Columbia V0X 1L0
 Phone: 604-869-0616

Quote #2814	
Sent on	Jun 18, 2024
Total	\$8,788.50

Product/Service	Description	Total
Lighting	Price \$ 8370+ GST Scope of work: - Supply and installation of 39 x 4' LED light fixtures on first floor, to replace existing inefficient fixtures as per on site review. - Supply and installation of 4 x LED bathroom vanity lights - Supply and installation of 2 x 4 ft vapour tight LED light fixtures outside on ceiling. - Test for safe and correct operation upon completion as required.	\$8,370.00

Notes	<p>NOTE: UES Electrical Services inc is not responsible for drywall, paint or other repairs required due to required electrical wiring routes.</p> <p>NOTE: UES Electrical Services Inc is not responsible for correction or replacement of discovered knob and tube wiring or Aluminum wiring systems. Additional pricing will be provided if these systems are present.</p> <p>Payment due upon receipt of invoice. Payment terms 50% deposit required upon approval Credit Card on file upon approval Progress invoice may be sent in between deposit and final invoices Remainder due at receipt of final invoice</p>
-------	--

This quote is valid for the next 30 days, after which values may be subject to change.

TSBC LEL0202241

Subtotal	\$8,370.00
GST (5.0%)	\$418.50
Total	\$8,788.50

Signature: _____ Date: _____

To Mayor Smith and Hope District Council members

The Summer Road Ratepayers Association would like to apply for connection to the District water system. Please find enclosed a signed petition with over %50 of owners on the road.

1. The current situation on Summer Rd:

a. the pipes down both sides of the street are about 70 years old and in imminent danger of failure.

b. The catchment at the top of the road which is on an easement is problematic. It is filled with water from a surface spring. A new plastic liner has been installed and a new shed in the last 2-3 years.

c. A reserve tank has a thick layer of sediment which may/may not be able to be cleaned and used. It can hold 10,000 litres.

d. The system runs on gravity drainage. Subsequently, when there is overuse in the summer with visitors and part time residents coming to enjoy the lake, the houses at the top of the street can be without water for days after the weekends. The proliferation of rental Air B&Bs has added to this problem.

e. The few, available and able bodied volunteers to do repairs and do secretarial/treasurer jobs are aging and becoming weary.

f. FVRD dissatisfaction with our continued Boil Water Advisory as many on the street do not test regularly.

g. Lack of alternatives- we have looked at having a well but the opinion of EDS, Pump and Water Treatment have indicated that even the option of a well at the top of the street would be detrimental with the increased pressure on our old pipes.

See attached EDS report

h. Many owners are concerned at the possibility of huge costs as they are not that well situated financially. The hook up on each owner's property seems to be acceptable. The finances of SRRA are fairly stable at ~\$17,000.

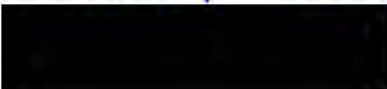
Concerns re: Council directing their staff to investigate costs that may require an external source (eg. Engineering firm) – would we be consulted before any charges come our way?

Thank you for your consideration. We have a delegation prepared to meet with mayor and council at your convenience.

July /2024

Secretary Monica Edl

CONTACT INFO:



To Whom It May Concern,

I am writing regarding the property at 66633 Summer Rd, Hope, BC V0X 1L1. We understand that there are 39 single family homes that are currently connected to the spring fed gravity fed water system. We were approached because you have been having off and on problems with your water system for the last 12 months. Some of the homes have been experiencing low pressure issues periodically. Below we have prepared three recommendations to address the problems that you are facing.

Option 1: Repair and Maintain Water Shed System

One option is to fix and upgrade your existing system. Adding new liner to the watershed could help, but we feel that a lot more maintenance work needs to be done on this system. We do not feel that minor repairs will be enough to ensure on going water supply for years to come. We feel that the whole system needs an overhaul. Our recommendation is to put in a new liner, replace all the pipes, upgrade the storage tank system and connections, and do other general repairs. From our experience PVC synthetic resin or Polyethylene resin would be great choices for the liner material. All the pipes will need to be dug up and replaced making this a costly option. We estimate this work to cost about \$5,000-\$10,000 per unit.

Option 2: Connect to City Water

You could consider connecting to the city water. The benefit is that this is a known quantity and quality of water. Please speak to the city regarding this cost.

"When it comes to water...come to us!"

www.edspumps.com

Option 3: Drill a New Well

The other option would be to use the spring system as a backup or irrigation line and do minor repairs to it and then drill a well on the property. A well will give you a constant source of water. You can discuss potential quantity and quality of a well with local well drillers. I will put contacts for some local well drillers below for your convenience. You can budget about \$2000 per unit to drill the well, install a water system and filtration.

Given the current information available to us we feel that it can quickly become very costly and difficult to continue to maintain and upgrade the current water system. Connecting to the city line is a very reliable method but will be costly. We feel that the most economical option would be to drill a new well.


We are happy to help you with whichever option you pursue. Please let us know how best we can assist you with the next steps.

Thank you,



Steven Tucknott
Technical Sales

Certified Water Specialist

Ph 604.534.1115 | TF 1.800.900.2220 | www.edspumps.com | 
23184 Fraser Hwy. Langley, British Columbia V2Z 2V1

**EDS PUMPS & WATER
TREATMENT LTD.**

"When it comes to water...come to us!"

www.edspumps.com

RECEIVED

AUG 12 2024

DISTRICT OF HOPE

Local Well Drillers We Recommend:

Red Dog Well Drilling:

604-761-4506

reddogwelldrilling@gmail.com

A&H Well Drilling:

604-794-5544

office@ahwelldrilling.ca

Cascadian Drilling:

250-515-0467

greg@cascadiandrilling.com

JR Drilling:

1 800 557 5070

office@jrdrilling.com

"When it comes to water...come to us!"

www.edspumps.com

42 LOTS
 34 YES = 80%

RECEIVED
 AUG 12 2024
 DISTRICT OF HOPE

We, the undersigned petition the District of Hope to have our water (currently supplied by Summer Road Water Users Association) be supplied by the District of Hope.)

This petition is an expression of interest. It is not a final approval for the District to proceed. Final approval by residents will be subject to residents receiving clear information of all costs that will be incurred by residents.

SUMMER ROAD HOUSE HOUSE #	OWNER	Signature	Date	YES/NO
66463			7/14/24	YES
66473				
66483			July 7/24	YES
66493			July 7/24	YES
66503			July 7 2024	YES!
66507			July 7/2024	YES ✓
66513				
66523			07 JULY 24	YES
66533				
66543			July 7/24	YES
66553			July 14/24	YES
66563-lot			7/2/24	YES
66567			July 7/24	YES
66573			Aug 2	YES

2024

66583		Aug 2	Yes
66593		July 7th	YES
66603		JULY 25	YES
66613		July 10	Yes
66623		JULY 31	YES.
66633		JULY 7th	YES.
66653		JULY 7th	YES
66662		July 7 2024.	Yes.
66652-lot		JULY 10th	YES
66632		JULY 7/24	YES
66612		July 7/24	YES
66602		July 7th	YES.
66582		July 7	YES
66572		JULY 7th	YES
66566-lot			
66562		July 7	Yes
66552		JULY 10th	YES.
66542		July 11	YES
66532		July 7	Yes
66522		JULY 9th	YES.
66512			
66506		JULY 9th	YES.

RECEIVED

AUG 12 2024

031

DISTRICT OF HOPE

66502			
66492		JUNE 7	YES
66482		JULY 23	YES
66472			
66462			
66452-lot			
66442		JULY 24	YES

RECEIVED
AUG 12 2024
DISTRICT OF HOPE

We, the undersigned petition the District of Hope to have our water (currently supplied by Summer Road Water Users Association) be supplied by the District of Hope.)

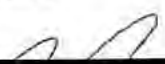
This petition is an expression of interest. It is not a final approval for the District to proceed. Final approval by residents will be subject to residents receiving clear information of all costs that will be incurred by residents.

SUMMER ROAD HOUSE NUMBER	PRINT NAME	Signature	Date	YES/NO
66442	[REDACTED]	[REDACTED]	July 24/24	Yes

RECEIVED
AUG. 12 2024
DISTRICT OF HOPE

We, the undersigned petition the District of Hope to have our water (currently supplied by Summer Road Water Users Association) be supplied by the District of Hope.)

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SUMMER ROAD HOUSE NUMBER	PRINT NAME	Signature	Date	YES/NO
66603			JULY 25 2024	YES

RECEIVED
AUG 12 2024
DISTRICT OF HOPE

We, the undersigned petition the District of Hope to have our water (currently supplied by Summer Road Water Users Association) be supplied by the District of Hope.)

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SUMMER ROAD HOUSE NUMBER	PRINT NAME	Signature	Date	YES/NO
66482			July 23	YES

RECEIVED
AUG 12 2024
DISTRICT OF HOPE

We, the undersigned petition the District of Hope to have our water (currently supplied by Summer Road Water Users Association) be supplied by the District of Hope.)

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SUMMER ROAD HOUSE NUMBER	PRINT NAME	Signature	Date	YES/NO
66572			07/11/2024	Yes

RECEIVED
AUG 12 2024
DISTRICT OF HOPE

We, the undersigned petition the District of Hope to have our water (currently supplied by Summer Road Water Users Association) be supplied by the District of Hope.)

This petition is an expression of interest. It is not a final approval for the District to proceed. Final approval by residents will be subject to residents receiving clear information of all costs that will be incurred by residents.

SUMMER ROAD HOUSE NUMBER	PRINT NAME	Signature	Date	YES/NO
66552			July 10	YES
			July 10	YES

RECEIVED
AUG 12 2014
DISTRICT OF HOPE

We, the undersigned petition the District of Hope to have our water (currently supplied by Summer Road Water Users Association) be supplied by the District of Hope.)

This petition is an expression of interest. It is not a final approval for the District to proceed. Final approval by residents will be subject to residents receiving clear information of all costs that will be incurred by residents.

SUMMER ROAD HOUSE NUMBER	PRINT NAME	Signature	Date	YES/NO
66652			07/10/2024	YES

RECEIVED
AUG 12 2024
DISTRICT OF HOPE

We, the undersigned petition the District of Hope to have our water (currently supplied by Summer Road Water Users Association) be supplied by the District of Hope.)

This petition is an expression of interest. It is not a final approval for the District to proceed. Final approval by residents will be subject to residents receiving clear information of all costs that will be incurred by residents.



SUMMER ROAD HOUSE NUMBER	PRINT NAME	Signature	Date	YES/NO
66506	[REDACTED]	[REDACTED]	Jul 9 2024	Yes

RECEIVED
AUG 12 2024
DISTRICT OF HOPE

RECEIVED
AUG 12 2024
DISTRICT OF HOPE

We, the undersigned petition the District of Hope to have our water (currently supplied by Summer Road Water Users Association) be supplied by the District of Hope.)

This petition is an expression of interest. It is not a final approval for the District to proceed. Final approval by residents will be subject to residents receiving clear information of all costs that will be incurred by residents.

SUMMER ROAD HOUSE NUMBER	PRINT NAME	Signature	Date	YES/NO
66522			July 9, 2024	YES
66522			July 9/24	Yes



REPORT/RECOMMENDATION TO COUNCIL

REPORT DATE: Aug 23, 2024

FILE: 7380-06

SUBMITTED BY: Fire Chief

MEETING DATE: September 9, 2024

SUBJECT: District of Hope Volunteer Fire Department Establishment, and Fire and Safety Regulations Bylaw No. 1006, 1998, Amendment

PURPOSE:

The purpose of this report is to update the *District of Hope Volunteer Fire Department Establishment, and Fire and Safety Regulations Bylaw No. 1006, 1998*.

RECOMMENDATION:

THAT *District of Hope Volunteer Fire Department Establishment and Fire and Safety Regulations Amendment Bylaw No. 1587, 2024* be read a first, second and third time this 9th day of September 2024.

BACKGROUND:

As of August 1, 2024, the *Fire Safety Act (FSA)* has replaced the *Fire Services Act (1996)*, the local authority (municipalities and regional districts) must designate, in writing, a person or a class of persons as fire inspectors (section 8) and fire investigators (section 23) for any portions of their jurisdictions.

All local authorities should designate their fire inspector(s) and fire investigator(s) as soon as the FSA comes into force on August 1, 2024, and before the Local Assistant to the Fire Commissioner program ends on October 28, 2024.

The District of Hope Volunteer Fire Department Establishment, and Fire and Safety Regulations Bylaw No. 1006, has not been amended since 1998. The Fire Department has plans to review and update this bylaw fully in 2025 to better reflect the current structure of the department, terminology and new legislation.

Prepared by:

Approved for submission to Council:

Original Signed by Thomas Cameron

Original Signed by John Fortoloczky

Thomas Cameron
Fire Chief

John Fortoloczky
Chief Administrative Officer



BYLAW NO. 1587

WHEREAS the Council of the District of Hope has determined to amend “*District of Hope Volunteer Fire Department Establishment and Fire and Safety Regulations Bylaw No. 1006, 1998*”;

NOW THEREFORE the Council of the District of Hope, in open meeting assembled, enacts as follows:

CITATION

1. This bylaw may be cited for all purposes as “***District of Hope Volunteer Fire Department Establishment and Fire and Safety Regulations Amendment Bylaw No. 1587, 2024***”.

ENACTMENT

2. That Part VI – Inspection of Premises, be amended to add section 607 Fire Inspector and Fire Investigator, as follows:

Section 607 Fire Inspector & Fire Investigator

The Fire Chief, Deputy Fire Chief or Assistant Chief be designated the authorized personnel within the District of Hope Fire Department to conduct Fire Inspections and Fire Investigations, as outlined in the *Fire Safety Act*.

READ A FIRST, SECOND & THIRD TIME this XX day of September, 2024.

ADOPTED this XX day of October, 2024.

Mayor

Director of Corporate Services



DISTRICT OF HOPE
REPORT/RECOMMENDATION TO COUNCIL

DATE: September 9, 2024 **FILE:** LDP 10/24
Bylaws 1588 & 1589

SUBMITTED BY: Robin Beukens, Director of Community Development

MEETING DATE: September 9, 2024

SUBJECT: **RE-DESIGNATE AND REZONE
63040 FLOOD HOPE ROAD;
STEFFEN PETERSEN**

PURPOSE:

To obtain Council's authorization for staff to proceed with the legislative process to redesignate and rezone the property at 63040 Flood Hope Road Highway Commercial (C-2) to Light/Service Industrial (I-2).

RECOMMENDATION #1:

THAT District of Hope Official Community Plan Amendment Bylaw No.1588, 2024 be given first and second readings in order to redesignate the land use designation in the Official Community Plan for the property 63040 Flood Hope Road from Highway Commercial to Light/Service Industry; and

FURTHER THAT the public be notified in accordance with the *District of Hope Application Procedures and Public Hearing/Information Meeting Procedural Bylaw No. 13/93*, the *Local Government Act* and the *Community Charter*; and

FURTHER THAT the Council of the District of Hope has considered the duty to consult regarding *Official Community Plan Amendment Bylaw No.1588, 2024* and concurs with the Director of Community Development that consultation be undertaken with the Ministry of Transportation & Infrastructure, the District of Hope Director of Finance, and the District of Hope Director of Operations.

RECOMMENDATION #2:

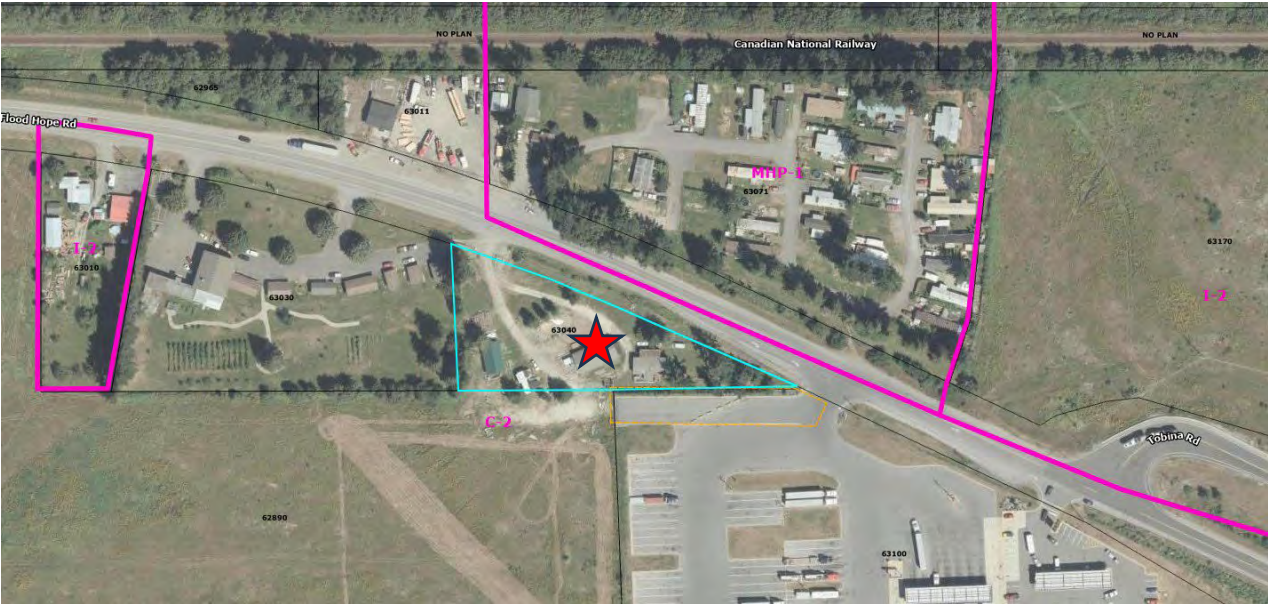
THAT *District of Hope Zoning Amendment Bylaw No. 1589, 2024* be given first and second readings in order to rezone the property 63040 Flood Hope Road from Highway Commercial (C-2) to Light/Service Industrial (I-2); and

FURTHER THAT the public be notified in accordance with the *District of Hope Application Procedures and Public Hearing/Information Meeting Procedural Bylaw No. 13/93*, the *Local Government Act* and the *Community Charter*.

ANALYSIS:

A. Rationale:

Proposal – The applicant is proposing to redesignate and rezone the property from Highway Commercial (C-2) to Light/Service Industrial (I-2) in order to facilitate the development of a multi-tenant light/service industrial building or buildings. The applicant has listed metal fabrication systems, woodworking (cabinet shop), equipment sales and service, and recycling depot as proposed land uses.



Background – The subject property is located at 63040 Flood Hope Road. The area is primarily commercial and industrial, but there is also a mobile home park across the road and rural lands in the Flood Hope area. The Flying J Truck Stop is immediately to the south of the parcel along with new My Garage development, both of which are zoned Highway Commercial (C-2). The adjacent property to the west is zoned C-2. 63010 Flood Hope Road was recently rezoned to I-2 and across Flood Hope Road adjacent to the mobile home park is another I-2 zoned property. All the properties across Flood Hope Road from 63040 are designated as Light Service Industry in the OCP, although zoning for the mobile home park remains Mobile Home Park (MHP-1) and the properties immediately to the west of the mobile home park are zoned Highway Commercial (C-2).

Official Community Plan Amendment & Rezoning - The Land Use Designation amendment and potential rezoning is supported holistically by the Official Community Plan (OCP) through the community goals. The OCP Land Use Designation for the property is Highway Commercial and technically a Light/Service Industrial (I-2) Zone is not supported in accordance with the Table of Concordance; however, Council should consider that the available industrial lands are limited within the municipal boundaries and that additional industrial lands will need to be created. More broadly throughout the Lower Mainland, Metro Vancouver Regional District and Fraser Valley Regional District have both identified shortages of industrial land. For the rezoning to occur the Land Use Designation in the OCP needs to change to Light/Service Industry.

OCP Policy 4.3.1 encourages light industrial development along Flood Hope Road west of Highway 1. The property is also near a major transportation corridor.

For an OCP, Section 475 of the *Local Government Act* states that during an amendment of the OCP we must consider whether consultation with one or more persons, organizations and authorities is required. Staff feels consultation with the Ministry of Transportation & Infrastructure, the Director of Finance regarding the financial impact and the Director of Operations to determine the impact on the Solid Waste Management Plan would suffice for this development.

The Highway Commercial (C-2) Zone and the Light/Service Industrial (I-2) Zone have several similar uses in each zone such as building supply and lumber yard, vehicle sales, and repair, and truck stop. The difference is the I-2 zone has uses such as workshops for trade contractors, equipment sales and service, and light manufacturing types of uses, while the C-2 zone has more commercial uses such as restaurants, service stations, and motels.

The site is absent of both municipal sewer and municipal water. The applicant intends to connect the site to community sewer in the area and have a private on-site well for water.

Development Permits – For Council’s purposes, for the applicant to further develop the subject property including any building permits, additional development permit applications must be approved. This includes a Rail & Highway Service Corridor Form and Character Development Permit and Minor Flood Hazard Development Permit.

Development Variance Permit – The applicant has also stated he intends to apply for a variance for setbacks in the future.

B. Official Community Plan (OCP) Bylaw 1378

From the OCP this proposal could address three aspects of a Hope’s Industrial areas community goals:

- *“Are clean, attractive, and well-maintained;*
- *Contribute to the local economy;*
- *Minimize negative impacts on the natural environment and human health.”*

As per the OCP, the three questions to be consistently asked in all levels and types of decision are:

1. Does the development move Hope toward our vision and goals for success and sustainability?

This development on a micro-level moves Hope towards our vision and goals for success and sustainability.

Is it aligned with our OCP objectives and policies?

Yes, if the consideration is given to the specific use to be relative to Service Industrial it touches on the following:

- *To retain Industrial Lands to support local economic development.*
- *Support Light/Service Industry and Heavy Industry uses in designated areas.*

- *To encourage Light Industrial uses that help to diversify the local economy including light manufacturing, technology, transportation, and non-resource base uses.*
 - *Support innovative methods for servicing Light Industrial developments.*
2. Is it a flexible platform for future steps towards our vision, goals and objectives?
This platform is rigid but a must do as it requires following the Local Government Act.
 3. Will it provide a good return on investment?
From an industrial tax base perspective, it will provide a return on investment once the contemplated development has been constructed. Furthermore, it provides the potential for new employment opportunities.

C. Attachments:

1. Location & Zoning Map Excerpt
2. OCP Land Use Map Excerpt
3. Highway Commercial (C-2) Zone
4. Light/Service Industrial (I-2) Zone
5. OCP & Zoning Amendment Bylaws 1588 & 1589

D. Property Information:

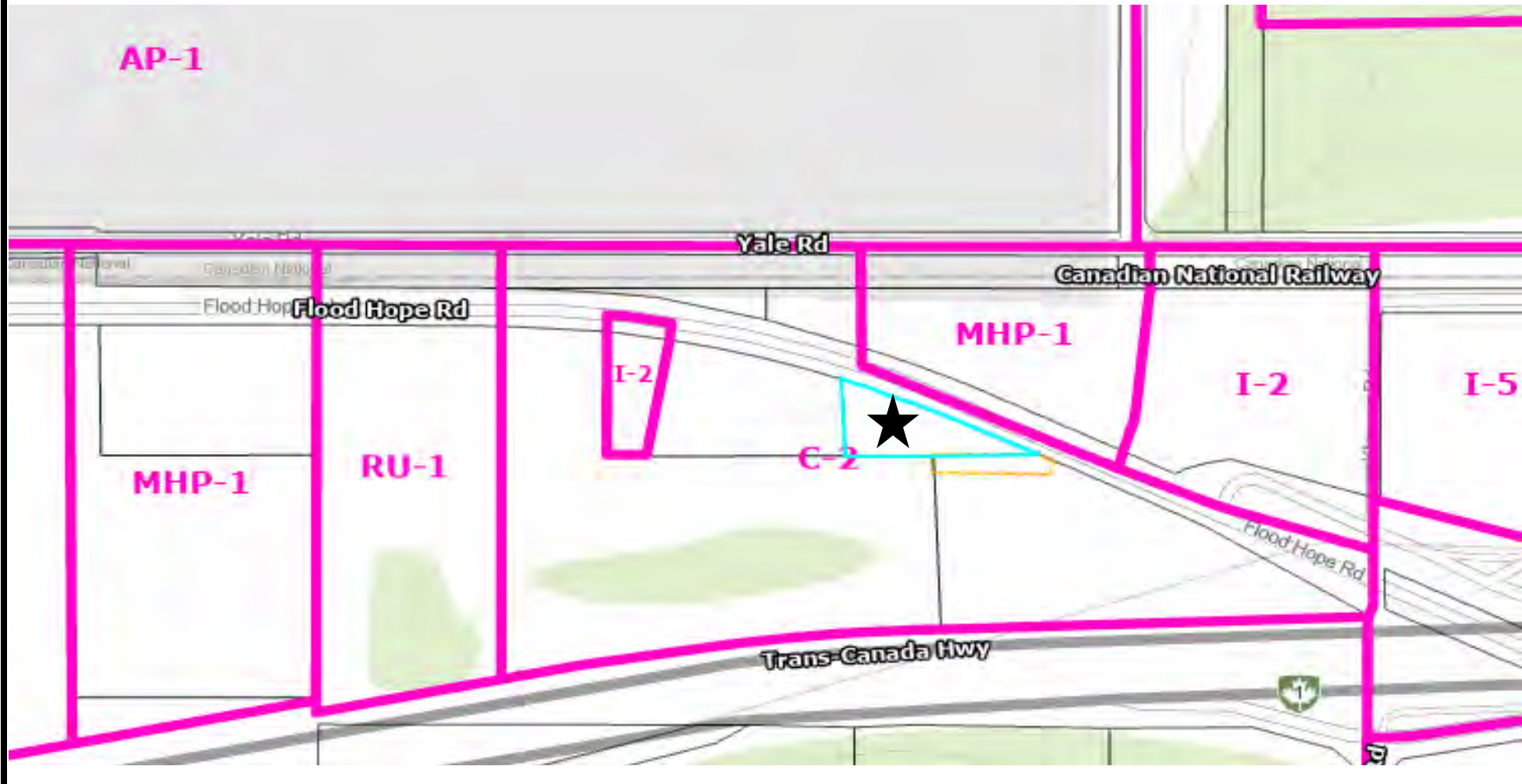
- 1) Civic Address: 63040 Flood Hope Road
- 2) Legal Description Lot D District Lot 53 Group 1 YDYG Plan 29463
- 3) PID Numbers: 004-307-518
- 4) Current Zoning: Highway Commercial (C-2)
- 5) OCP Designation: Highway Commercial

Prepared by:

Approved for Submission to Council:

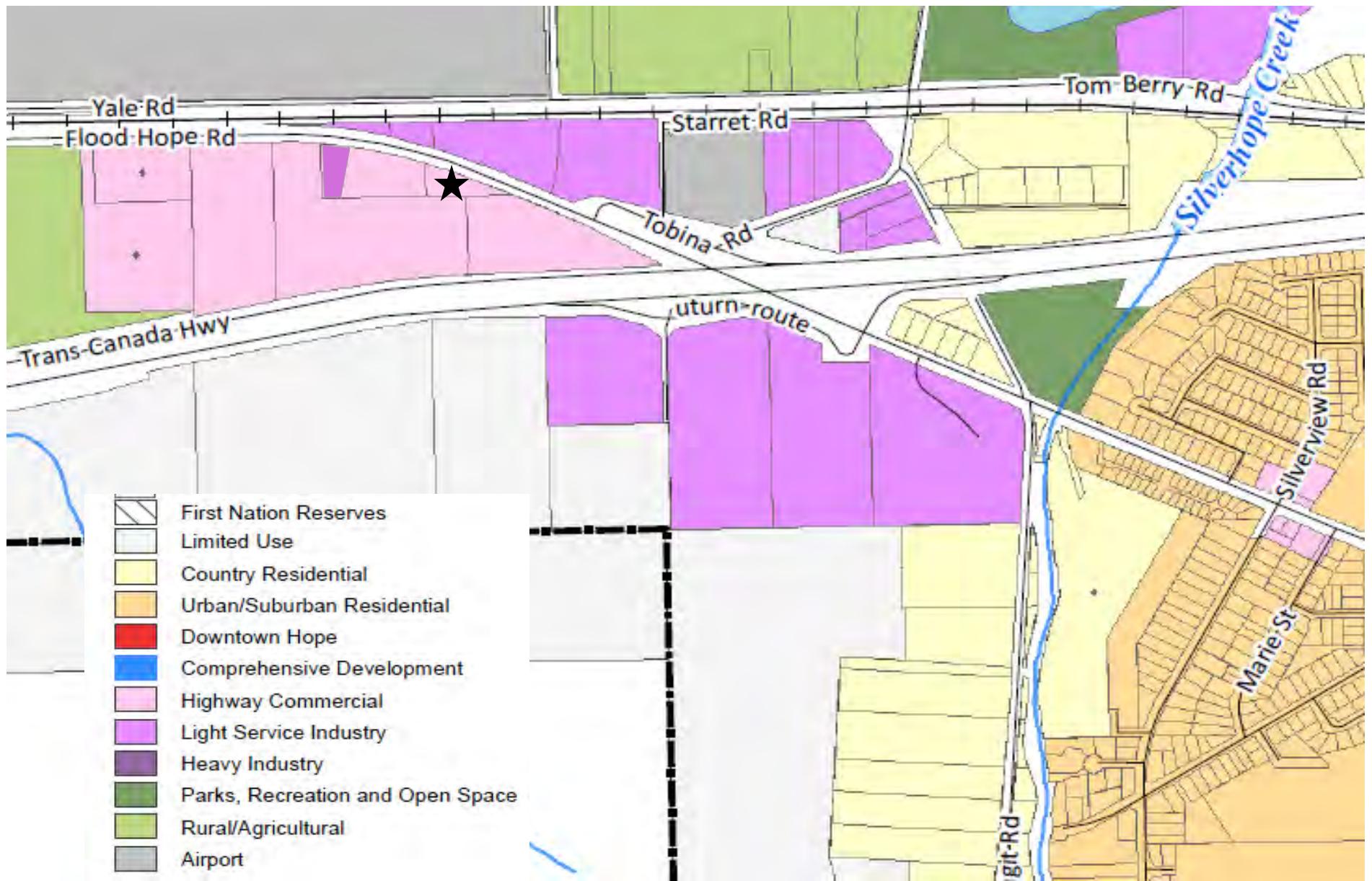
Original Signed by Robin Beukens
Director of Community Development

Original Signed by John Fortoloczky
Chief Administrative Officer



6304 Flood Hope Road
Applicant: Steffen Petersen

Location & Zoning Map



63040 Flood Hope Road
Applicant: Steffen Petersen

OCP Land Use Map

11.3 HIGHWAY COMMERCIAL (C-2) ZONE

11.3.1 PURPOSE

- .1 The purpose of this *zone* is to identify areas adjacent to major routes of travel or scenic and recreational features for the location of commercial *uses* catering to tourists and the travelling public.

11.3.2 PERMITTED USES

- .1 The following *principal uses* and no others shall be permitted (AM#1352):
 - a) Building supply and lumber yard;
 - b) Bus depot and taxi office;
 - c) Car wash;
 - d) *Convenience store*;
 - e) *Entertainment facility*;
 - f) *Financial institution*;
 - g) *Liquor primary use*;
 - h) *Mini-storage facility*;
 - i) *Motel or motor inn*;
 - j) *Nursery*;
 - k) *Outdoor recreation*;
 - l) *Public market*;
 - m) *Restaurant*;
 - n) *Service station*;
 - o) *Specialty retail*;
 - p) *Tourist information booth*;
 - q) Towing operation and associated *vehicle* storage;
 - r) *Truck stop*.
 - s) *Vehicle* sales or rental operation;
 - t) *Vehicle* service or repair.
- .2 The following shall be permitted as *accessory uses* (AM#1352):
 - a) *Accessory buildings or structures*;
 - b) *Commercial vehicle* storage;
 - c) One or more *dwelling units* accessory to any of the principal uses permitted in this zone; AM#1352)
 - d) One *dwelling unit* accessory to a *mini-storage facility, motel or motor inn* only;
 - e) *Outdoor storage*.

11.3.3 CONDITIONS OF USE

- .1 A *mini-storage facility* shall:
 - a) be completely enclosed within a *building*;
 - b) have adequate on-site drainage works and shall not drain onto or create a drainage hazard for an adjacent *parcel*.

- .2 All individual storage units within a *mini-storage facility* shall have:
 - a) direct access at the ground level and a maximum interior height of 3.5 metres (~11 feet); and
 - b) a *floor area* of not less than 2.8 square metres (~30 square feet) and not more than 28 square metres (~301 square feet).
- .3 All *accessory buildings or structures* shall be subject to the Accessory Buildings and Structures General Regulations of this Bylaw.
- .4 *Commercial vehicle storage* as an *accessory use* shall:
 - a) be limited to that part of the *parcel* surfaced with asphalt, concrete or similar hard surface;
 - b) not exceed a maximum *site coverage* of 25% of the *parcel*; and
 - c) not be permitted in the *front yard* of a *parcel*.
- .5 The *floor area* of a *convenience store* as an *accessory use* shall not exceed 140 square metres (~1,506 square feet).
- .6 A *dwelling unit* accessory to a *mini-storage facility, motel or motor inn* may be located on the ground floor but shall be located within the same *building* as the *mini-storage facility, motel or motor inn*. (AM#1352)
- .7 All accessory *dwelling units*, except those associated with a *mini-storage facility, motel or motor inn*, shall only be located above the ground floor and shall have separate entrances leading directly to grade and be divided from the other *uses* by walls. (AM#1352)

11.3.4 REQUIREMENTS FOR SUBDIVISION

- .1 The minimum *lot area* for a *parcel* created by *subdivision* shall be:
 - a) 1,000 square metres (~10,760 square feet) where there is a *community water system* and *community sanitary sewer system* available to service the *parcel*; or
 - b) 0.4 hectares (~1 acre) where there is either a *community water system* or a *community sanitary sewer system* but not BOTH available to service the *parcel*; or
 - c) 1 hectare (~2.5 acres) where there is neither a *community water system* nor a *community sanitary sewer system* available to service the *parcel*.
- .2 The minimum *frontage* of a *parcel* shall be 10% of the perimeter of that *parcel* or 30 metres (~97.5 feet) whichever is greater.

11.3.5 SITE COVERAGE, BUILDING HEIGHT AND SETBACKS

- .1 *Site coverage, building height* and *setbacks* shall be provided in accordance with the following table (AM#1352):

Site Coverage, Building Height and Setbacks for Highway Commercial (C-2) Zone

	Principal Building or Structure	Accessory Building or Structure
Maximum Site Coverage	Total 35%	
Maximum Building Height	15 metres (~49.5 feet) (AM#1352)	10 metres (~33 feet)
Setback Required from:		
Front Lot Line	7.5 metres (~25 feet)	7.5 metres (~25 feet)
Rear Lot Line	6 metres (~20 feet)	6 metres (~20 feet)
Interior Side Lot Line	3 metres (~10 feet)	3 metres (~10 feet)
Exterior Side Lot Line	3 metres (~10 feet)	3 metres (~10 feet)

- .2 Fuel islands within a *service station* shall be *setback* a minimum of 6 metres (~20 feet) from all *lot lines* and the exterior edge of the canopy for all fuel islands shall be *setback* a minimum of 4.5 metres (~15 feet) from all *lot lines*.

11.3.6 OTHER REQUIREMENTS

- .1 All *off-street parking areas* and *off-street loading spaces* shall be provided in accordance with the Off-Street Parking and Loading Regulations of this Bylaw.
- .2 All *landscaping, screening* and *fences* shall be provided in accordance with the Landscaping, Screening and Fencing Regulations of this Bylaw.

11.3.7 SPECIAL REGULATIONS

- .1 Licensed liquor establishments and the retail sale of liquor shall be subject to and comply with the provisions of the Liquor Control and Licensing Act as amended from time to time. (AM# 1443)

12.2 LIGHT/SERVICE INDUSTRIAL (I-2) ZONE

12.2.1 PURPOSE

- .1 The purpose of this *zone* is to accommodate lands suited for light or service industrial *use* located south of Downtown Hope or in site specific locations along transportation routes, either within an enclosed *structure* or in an open area under conditions designed to minimize conflicts with surrounding areas.

12.2.2 PERMITTED USES

- .1 The following *principal uses* and no others shall be permitted:
 - a) Auction sales and storage;
 - b) Beverage bottling and distribution;
 - c) Building supply and lumber yard;
 - d) Bulk fuel, heating oil and propane storage and distribution;
 - e) Car wash;
 - f) Cartage, delivery and moving service;
 - g) Cold storage plant and frozen food locker;
 - h) *Commercial vehicle storage*;
 - i) Equipment sales, service and rental;
 - j) Household and other small appliance sales and service;
 - k) Industrial operation involved in the processing, fabricating, assembling, storing, transporting, distributing, testing, servicing, repairing, wholesaling or warehousing of goods, materials and things;
 - l) Light manufacturing, including, without limiting the generality of the foregoing woodworking, metalworking and machine shops;
 - m) Log house construction;
 - n) Manufacturing and storage of pavement and concrete products (AM BL# 1419 & 1429)
 - o) *Mini-storage facility*;
 - p) Printing, publishing and allied trades;
 - q) Public works yard and related storage;
 - r) Recycling depot accepting, storing and processing solid waste products;
 - s) Towing operation and associated *vehicle storage*;
 - t) Truck terminal, bulk loading and storage facility;
 - u) *Truckstop*;
 - v) *Vehicle* sales or rental operation
 - w) *Vehicle* service or repair including, without limiting the generality of the foregoing, body repair and painting;
 - x) *Veterinary clinic*;
 - y) Warehousing;
 - z) Wholesaling providing for the selling of goods in relatively large quantities within a *building* to retailers for resale to consumers;
 - aa) Workshop and yard for construction companies and trade contractors.

- .2 The following shall be permitted as *accessory uses*:
 - a) *Accessory buildings or structures*, including, without limiting the generality of the foregoing, materials handling equipment, scales and storage *buildings*.
 - b) *Commercial vehicle storage*;
 - c) Office accessory to the operation of any of the *principal uses* permitted in this *zone*;
 - d) *One family residence*;
 - e) *Outdoor storage*;
 - f) *Restaurant*.

12.2.3 CONDITIONS OF USE

- .1 All activities within this *zone* shall be carried out in accordance with the District of Hope Good Neighbour Bylaw No. 1240, 2008 as amended from time to time.
- .2 *Commercial vehicle storage* outside a *building* as a permitted *principal use* shall be limited to that part of the *parcel* surfaced with asphalt, concrete or similar hard surface and shall not exceed a total *site coverage* of 50%.
- .3 A *mini-storage facility* shall:
 - a) be completely enclosed within a *building*; and
 - b) have adequate on-site drainage works and shall not drain onto or create a drainage hazard for an adjacent *parcel*.
- .4 All individual storage units within a *mini-storage facility* shall have:
 - a) direct access at the ground level and a maximum interior height of 3.3 metres (~11 feet); and
 - b) a *floor area* of not less than 2.8 square metres (~30 square feet) and not more than 28 square metres (~301 square feet).
- .5 There shall be not more than 1 *one family residence* on a *parcel*.
- .6 No side of a *one family residence* shall have an overall dimension of less than 6 metres (~20 feet) excluding additions and projections.
- .7 Excluding a mini storage facility, the *one family residence* shall be located behind the *principal use*. (AM#1407).
- .8 All *accessory buildings or structures* shall be subject to the Accessory Buildings and Structures General Regulations of this Bylaw.
- .9 An *accessory building or structure* for security personnel (watch person) shall not exceed a *floor area* of 20 square metres (~215 square feet).
- .10 An accessory office shall not exceed 25% of the *floor area* of the *principal uses* on the *parcel*.
- .11 All *outdoor storage* shall be subject to the Outdoor Storage Landscaping, Screening and Fencing Regulations and the Outdoor Storage Use Regulations of this Bylaw.
- .12 The *floor area* of a *restaurant* as an *accessory use* shall not exceed 70 square metres (~753 square feet).

12.2.4 REQUIREMENTS FOR SUBDIVISION

- .1 The minimum *lot area* for a *parcel* created by *subdivision* shall be:
 - a) 930 square metres (~10,005 square feet) where there is a *community water system* and a *community sanitary sewer system* available to service the *parcel*; or
 - b) 0.4 hectares (~1 acre) where there is either a *community water system* or a *community sanitary sewer system* but not BOTH available to service the *parcel*; or

- c) 1 hectare (~2.5 acres) where there is neither a *community water system* nor a *community sanitary sewer system* available to service the *parcel*.
- .2 The minimum *frontage* of a *parcel* shall be 10% of the perimeter of that *parcel* or 20 metres (~66 feet) whichever is greater.

12.2.5 SITE COVERAGE, BUILDING HEIGHT AND SETBACKS

- .1 *Site coverage, building height and setbacks* shall be provided in accordance with the following table: (AM#1352)

Site Coverage, Building Height and Setbacks for Light/Service Industrial (I-2) Zone

	Principal Building or Structure	Accessory Building or Structure
Maximum Site Coverage	No maximum	
Maximum Building Height	12 metres (~39.5 feet)	12 metres (~39.5 feet)
Setback Required from:		
Front Lot Line	6 metres (~20 feet)	6 metres (~20 feet)
Rear Lot Line	3 metres (~10 feet)	3 metres (~10 feet)
Interior Side Lot Line	3 metres (~10 feet)	3 metres (~10 feet)
Exterior Side Lot Line	4.5 metres (~15 feet)	4.5 metres (~15 feet)

- .2 Where a *parcel* zoned Light/Service Industrial (I-2) adjoins or abuts a *parcel* in an Industrial Zone, the *rear lot line* or *interior side lot line setbacks* do not apply.
- .3 Where a Light/Service Industrial (I-2) Zone adjoins or abuts a Residential Zone, all *buildings and structures* in the I-2 Zone shall be *setback* a minimum of 7.5 metres (~25 feet) from the boundary of each *parcel* that adjoins or abuts in the Residential Zone.

12.2.6 OTHER REQUIREMENTS

- .1 All *off-street parking areas* and *off-street loading spaces* shall be provided in accordance with the Off-Street Parking and Loading Regulations of this Bylaw.
- .2 All *landscaping, screening and fences* shall be provided in accordance with the Landscaping, Screening and Fencing Regulations of this Bylaw.

12.2.7 SPECIAL REGULATIONS

- .1 Bulk fuel, heating oil and propane storage and distribution *buildings or structures* shall be approved by the Fire Commissioner pursuant to the Fire Services Act and regulations thereto.



DISTRICT OF HOPE

BYLAW NO. 1588

A Bylaw to amend the District of Hope Official Community Plan Bylaw No. 1378

Whereas the Council of the District of Hope deems it appropriate to amend Official Community Plan Bylaw No. 1378, 2016 by re-designating certain lands;

Now therefore the Council of the District of Hope, in open meeting assembled, enacts as follows:

CITATION

1. This Bylaw may be cited for all purposes as the “***District of Hope Official Community Plan Amendment Bylaw No. 1588, 2024***”.

ENACTMENT

2. That certain parcels of land situated in the District of Hope, British Columbia, and described as:

Lot D District Lot 53 Group 1 YDYD Plan 29463;
PID 004-307-518

with the civic addresses of 63040 Flood Hope Road as shown on Schedule “A” attached to and forming part of this bylaw are hereby re-designated from Highway Commercial to Light/Service Industry and Map 2 of the District of Hope Official Community Plan Bylaw 1378, 2016 is hereby amended to reflect this re-designation.

Read a first and second time this XX day of XXXX, 2024.

Advertised in the Hope Standard Newspaper on the XX and XX days of XXXX, 2024.

Public Hearing was held this XX day of XXXX 2024

Received Ministry of Transportation & Infrastructure approval this XX day of XXXXX, 2024.

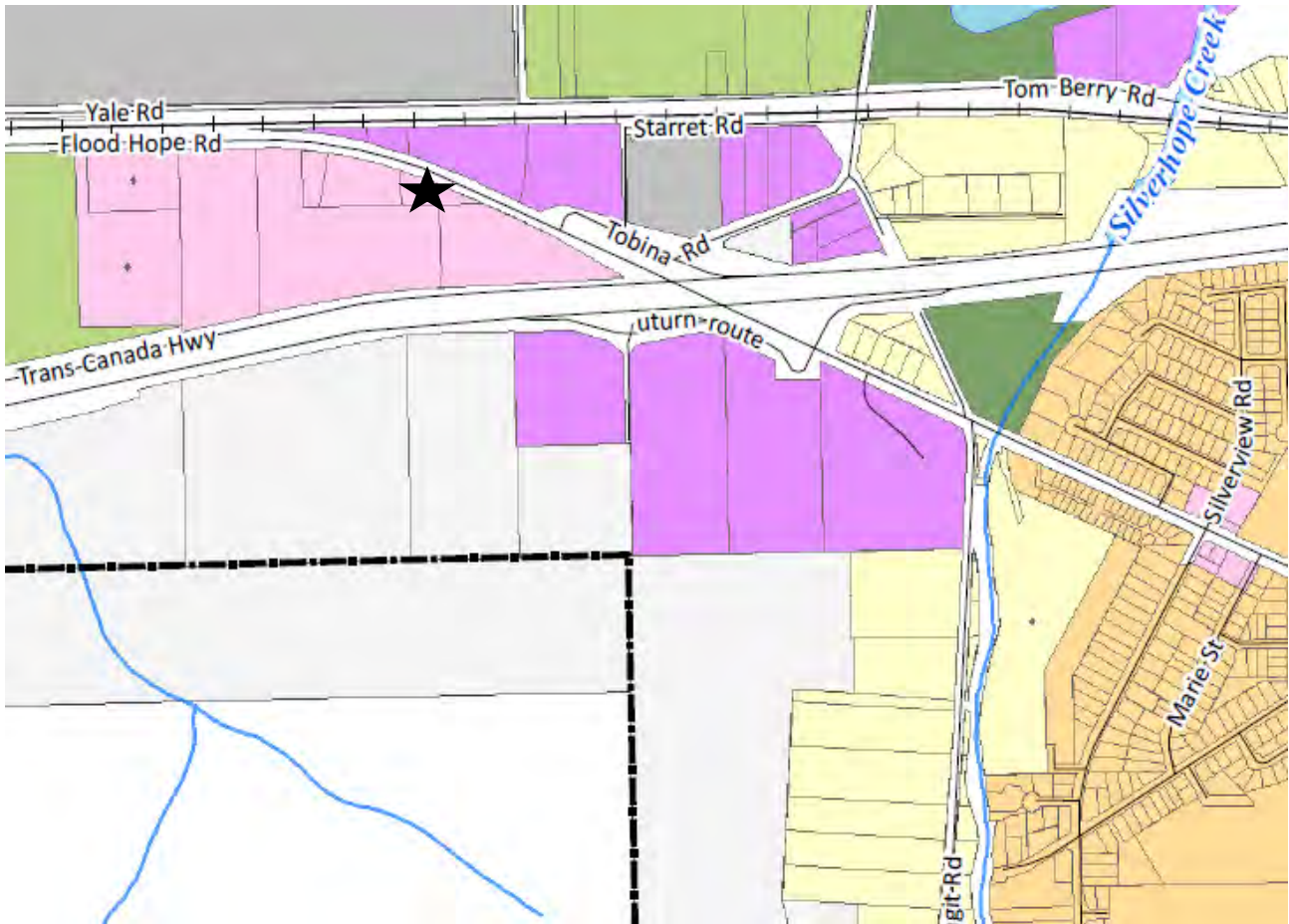
Adopted this XX day of XXXXX, 2024.

Mayor

Director of Corporate Services

DISTRICT OF HOPE
BYLAW NO. 1588
SCHEDULE "A"

OFFICIAL COMMUNITY PLAN AMENDMENT MAP



SUBJECT PROPERTY:



FROM: HIGHWAY COMMERCIAL

TO: LIGHT/SERVICE INDUSTRY

This is Schedule "A" attached to and forming part of the "District of Hope Official Community Plan Amendment Bylaw No. 1588, 2024."

Mayor

Director of Corporate Services



DISTRICT OF HOPE

BYLAW NO. 1589

A Bylaw to amend the District of Hope Zoning Bylaw 1324, 2012

WHEREAS pursuant to Section 479 of the *Local Government Act*, a local government may adopt a Zoning Bylaw;

AND WHEREAS the Council of the District of Hope deems it appropriate to amend Zoning Bylaw No. 1324, 2012 by rezoning a certain parcel of land;

Now therefore the Council of the District of Hope, in open meeting assembled, enacts as follows:

CITATION

1. This Bylaw may be cited for all purposes as the “***District of Hope Zoning Amendment Bylaw No. 1589, 2024***”.

ENACTMENT

2. That certain parcels of land situated in the District of Hope, British Columbia, and described as:

Lot D District Lot 53 Group 1 YDYD Plan 29463;
PID 004-307-518

with the civic address of 63040 Flood Hope Road as shown on Schedule “A” attached to and forming part of this bylaw are hereby rezoned from from Highway Commercial (C-2) to Light/Service Industrial (I-2) and the Zoning Map Schedule “B” of the District of Hope, Zoning Bylaw 1324, 2012 is hereby amended to reflect this rezoning.

Read a first and second time this XX day of XXXX, 2024.

Advertised in the Hope Standard Newspaper on the XXX XX and XXX days of XXXX, 2024.

Public Hearing was held this XX day of XXXX 2024

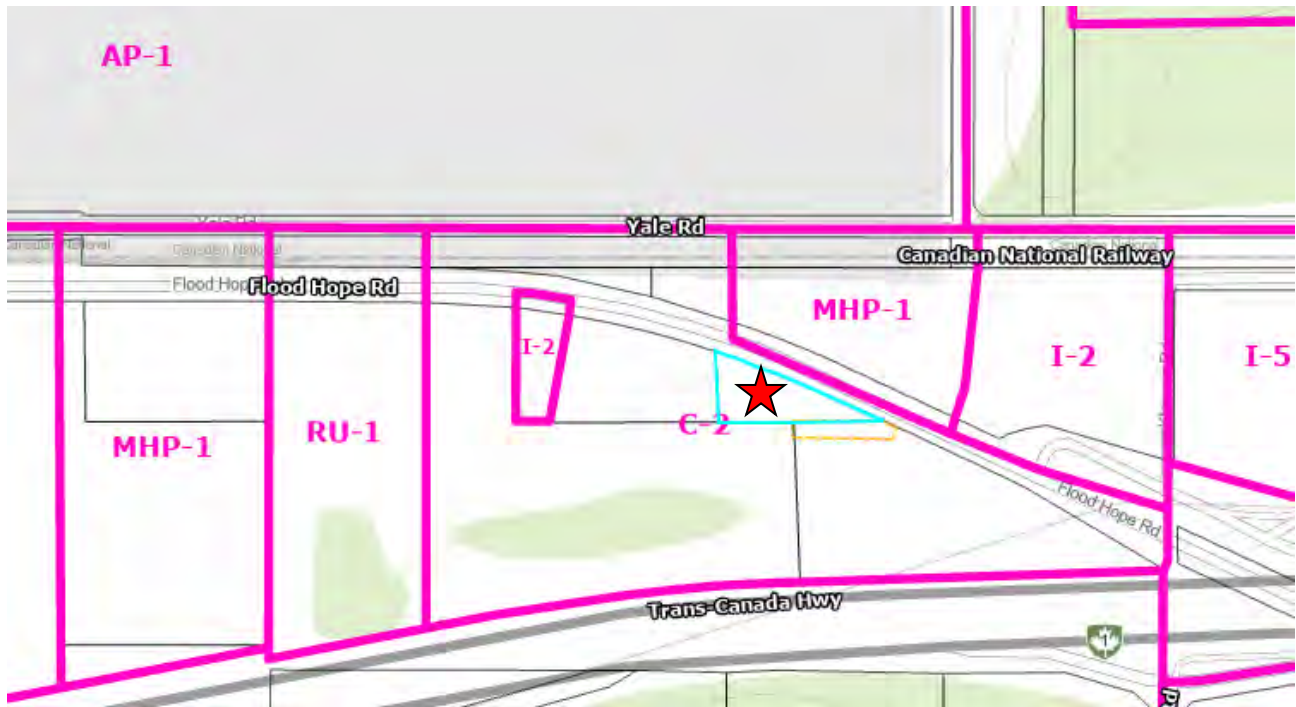
Received Ministry of Transportation & Infrastructure approval this XX day of XXXXX, 2024.

Adopted this XX day of XXXXX, 2024.

Mayor

Director of Corporate Services

ZONING AMENDMENT MAP



SUBJECT PROPERTY: ★

REZONED FROM: Highway Commercial (C-2)

TO: Light/Service Industrial (I-2)

This is Schedule "A" attached to and forming part of the "District of Hope Zoning Amendment Bylaw No. 1589, 2024."

Mayor

Director of Corporate Services



DISTRICT OF HOPE

REPORT/RECOMMENDATION TO COUNCIL

REPORT DATE: September 9, 2024

FILE: LDP 13/24

SUBMITTED BY: Julie Mundy, Planner III

MEETING DATE: September 9, 2024

SUBJECT: **TEMPORARY USE PERMIT RENEWAL AT 62870 FLOOD HOPE RD
G & M LISKE DEVELOPMENTS**

PURPOSE:

To obtain Council authorization to proceed with public notification for the renewal of a Temporary Use Permit (TUP) at 62780 Flood Hope Road. The TUP is to allow pipeline related uses of storage, maintenance, and administration for up to 3 years on the property.

RECOMMENDATION:

THAT Council approve the preparation of a renewal of a three year Temporary Use Permit to allow for the third party storage of equipment and construction material, four Modular Storage Units, as well as the placement of two construction offices, a covered shelter, and a recreation vehicle at 62870 Flood Hope Road, legally described as Lot 1 District Lot 53 and of Sec 6 TWP 5 RGE 26 W6M YDYD Plan KAP49703; PID 018-249-663; and

FURTHER THAT Council authorize staff to proceed with public notification that a Temporary Use Permit for 62870 Flood Hope Road will be considered at a future Council meeting in accordance with District of Hope Bylaws and provincial legislation.

PUBLIC CONSULTATION:

Notification will be placed in the Hope Standard newspaper and mailed to residents within 200 metres of the subject property. This notification will meet requirements set out in the District of Hope Zoning Bylaw, Application Procedures & Public Hearing Information Meeting Procedural Bylaw, and the *Local Government Act*.

ANALYSIS:

A. Background

A three-year Temporary Use Permit was issued to the property owner in December 2021 to allow pipeline related uses of:

- Storage of equipment and construction material,
- Stowing of four Modular Storage Units, and
- Placement of two construction offices.

This permit was amended in February 2023 to add additional temporary uses of:

- Placement of a 5000 square foot temporary shelter, and
- Placement of a recreational vehicle for security purposes.

The amended TUP will expire in December 2024, and the property owner, G & M Liske Developments, has advised the site is still required for these uses.

B. Rationale

The property owner has successfully managed the temporary uses on the property over the last three years with no formal complaints received by the District of Hope. While work on the pipeline has largely been completed, final work is still ongoing and storage needs still exist.

The current Rural (RU-1) Zone of the property allows for gravel and rock sorting, screening and crushing and the primary processing of forestry products, it does not allow for third party storage. The TUP allows for a broader range of uses on the property.

Zoning Bylaw – Section 5.3.1 of Zoning Bylaw 1324, 2012 states:

A Temporary Use Permit may be issued by resolution by the Council of the District in any Rural, Commercial, Industrial, Residential or Public Use and Institutional Zone subject to the following provisions:

- a) Written documentation from the applicant including the rationale for the temporary use permit, a site plan, and illustrative material about the proposed temporary use;
- b) Documentation that the proposed land use cannot be accommodated on a parcel suitably zoned or could only be undertaken with considerable hardship;
- c) Notification by the applicant to all residents and property owners within 200 metres of the location of the proposed temporary use permit;
- d) Removal of the temporary use no later than 3 years from the date the permit is issued;
- e) Restoration of the parcel to a condition similar to surrounding parcels following the termination of the temporary use;
- f) Residential zoned lands must be .809 hectares (2 acres) or greater.

Temporary Use Permits are valid for up to three years. A permit holder may apply to have the permit renewed for a second three year term subject to the restriction that a Temporary Use Permit may be renewed only once.

Staff supports the Temporary Use Permit renewal for 62870 Flood Hope Road. This is an opportunity for continued economic development as supported by the Official Community Plan.

C. Official Community Plan (OCP) Bylaw 1378

As per the Official Community Plan, the three questions to be consistently asked in all levels and types of decision are:

1. Does the development move Hope toward our vision and goals for success and sustainability? Is it aligned with OCP objectives and policies?

This development could contribute to the diversity and strength of the local economy.

2. Is it a flexible platform for future steps towards our vision, goals and objectives?

This platform is flexible and requires Council approval.

3. Will it provide a good return on investment?

From an economic development stand point, the proposal will provide an opportunity for a business to remain in the community.

D. Attachments

1. Location & Zoning Map
2. OCP Land Use Map
3. Site Plan – Rental Area

D. Property Information

- 1) Civic Address: 62870 Flood Hope Road
- 2) Legal Description: Lot 1 DL 53 and of Sec 6 TWP 5 RGE 26 W6M YDYG Plan KAP49703
- 3) PID Number: 018-249-663
- 4) Current Zoning: Rural (RU-1)
- 5) OCP Designation: Highway Commercial

Approved by:

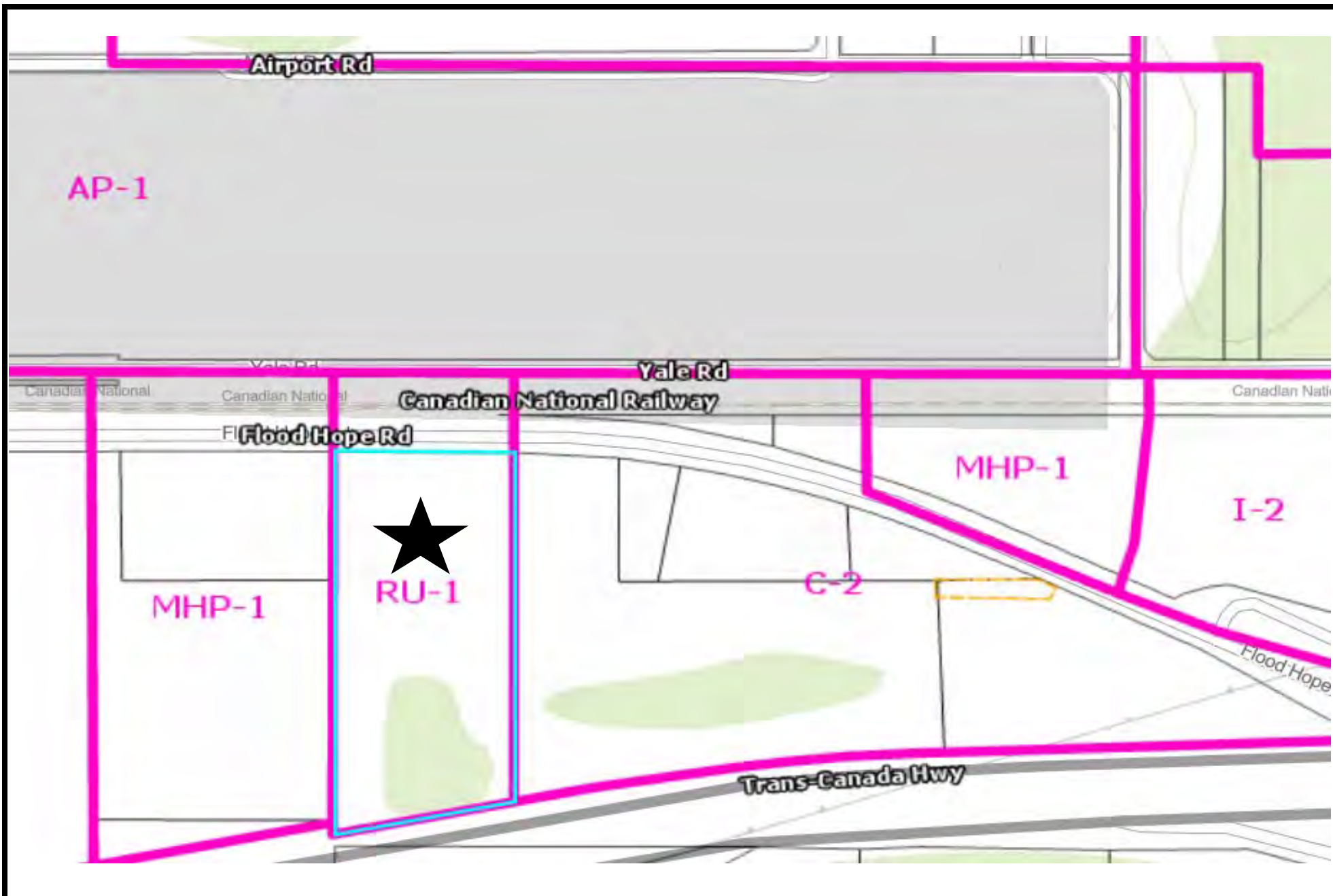
Approved for submission to Council:

Original Signed by Robin Beukens

Director of Community Development

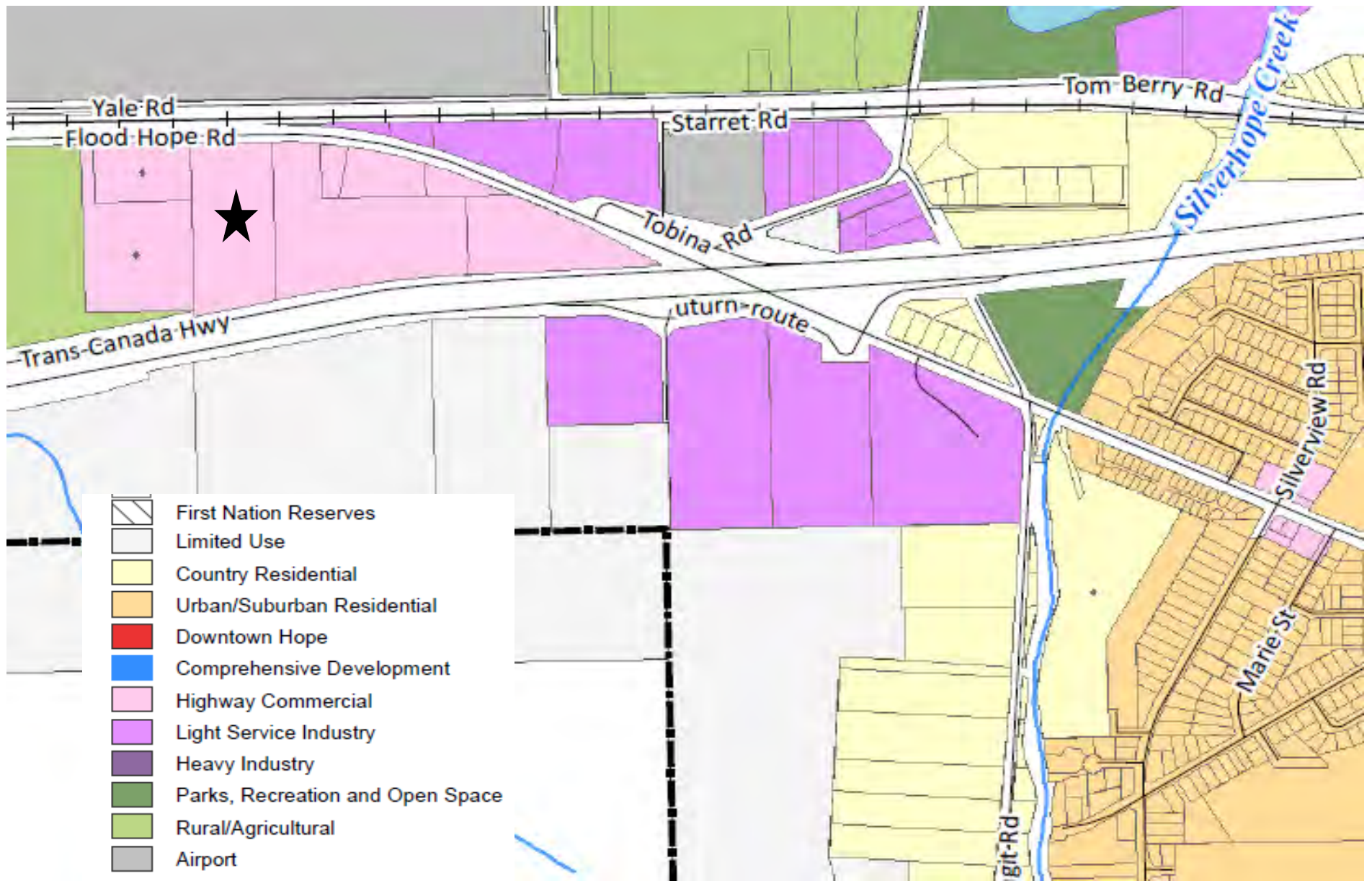
Original Signed by John Fortoloczky

Chief Administrative Officer



62870 Flood Hope Road
Applicant: G & M Liske Developments Ltd.

Location & Zoning Map Excerpt

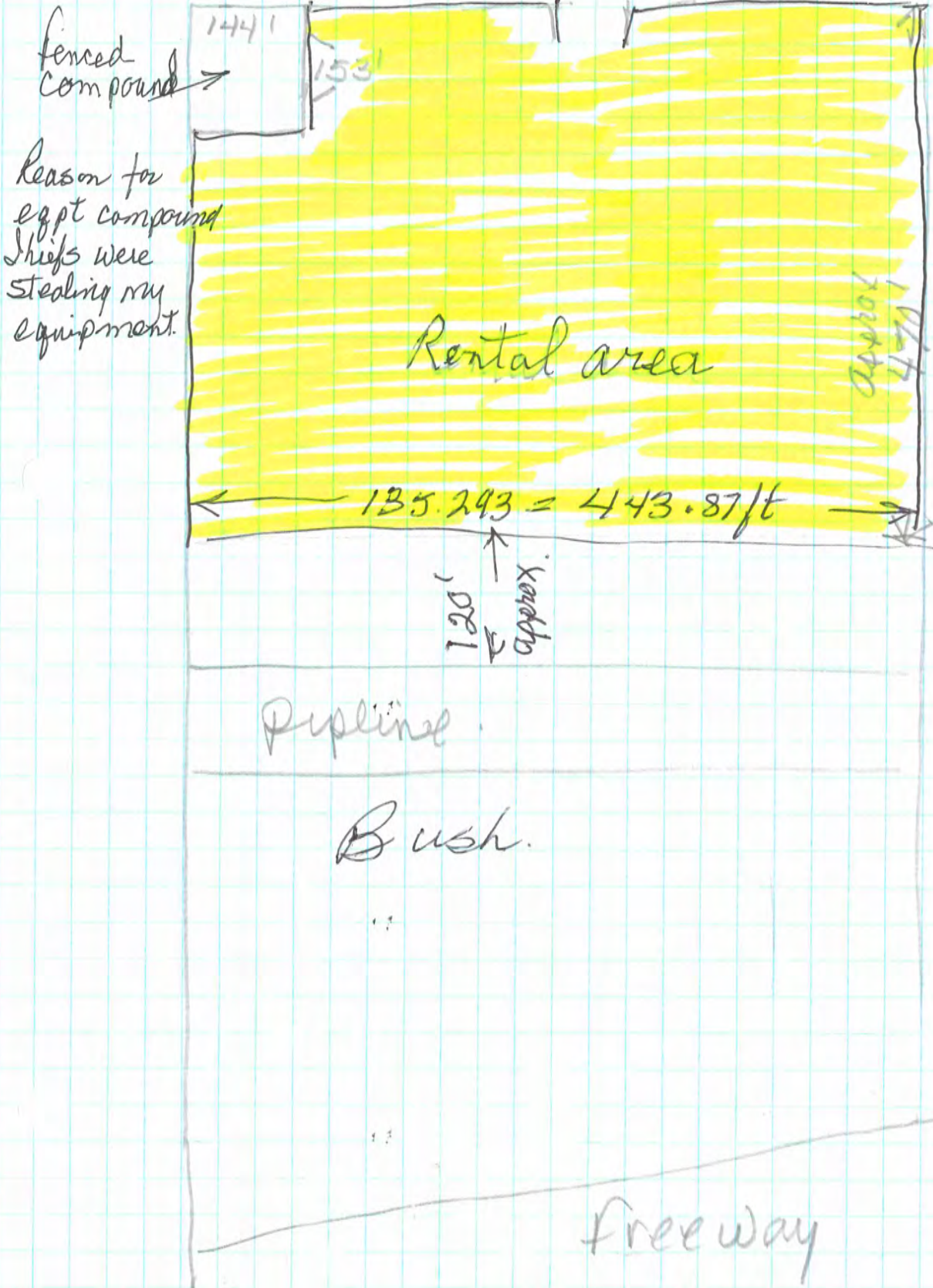


62870 Flood Hope Road
Applicant: G & M Liske Developments Ltd.

OCP Land Use Map Excerpt

2021 Oct 1st
Gordon Liske

Flood Hope Road





DISTRICT OF HOPE
REPORT/RECOMMENDATION TO COUNCIL

REPORT DATE: September 4, 2024

FILE: LDP 16/24

SUBMITTED BY: Julie Mundy, Planner III

MEETING DATE: September 9, 2024

SUBJECT:

**INTENSIVE RESIDENTIAL
FORM & CHARACTER DEVELOPMENT PERMIT
1275 7th AVE; BC HOUSING**

PURPOSE:

To obtain Council's approval for a Hope Intensive Residential Development Permit for supportive and shelter housing at 1275 7th Avenue.

RECOMMENDATION:

THAT an Intensive Residential Development Permit for 56 supportive housing units and 15 shelter beds be approved at 1275 7th Ave, legally described as Lot 5A Block 3 Townsite of Hope Suburban, PID 001-891-740; and

FURTHER THAT the Director of Community Development be authorized to approve minor changes to the Development Permit; and

FURTHER THAT for purposes of the Intensive Residential Development Permit validity period, the conditions of the Development Permit shall expire on September 9, 2026; and

FURTHER THAT for purposes of any associated building permit, as per Section 504 of the Local Government Act "*substantially start any construction*" shall mean the completion of the building foundation.

ANALYSIS:

A. Rationale:

Background – The applicant Martin Pykalo Architect Inc has applied for an Intensive Residential form and character development permit on behalf of Fraser Health Authority and BC Housing. A portion of 1275 7th Ave was rezoned and redesignated (OCP) in October 2022 to enable the proposed development.

Proposal – The proposal is to construct a 3 storey building with 56 supportive housing units and 15 shelter beds. The building will house administrative and clinical spaces to provide the required wrap around services to tenants and shelter guests.

Zoning – The property is zoned Comprehensive Development 10 (CD-10). This zone was specifically designed for supportive and shelter housing. All required setbacks, building height, site coverage, and parking requirements will be met.

Form & Character Development Permit (DP) – The development meets the objectives, expectations, and guidelines of the Hope Intensive Residential Form and Character Development Permit Area. Council should note the requirement for the Hope Intensive Residential Development Permit is activated when ten (10) or more units are proposed.

The buildings will be a mix of brown, grey and white, with red artistic accents. The building is oriented towards 7th Avenue and will have clear signage.

The design is attractive, has natural colours, contains a common theme throughout the site, and fits within and considers the local area. Staff find the design to be consistent with the guidelines for the Intensive Residential Development Permit Area.

B. Official Community Plan (OCP) Bylaw 1378

As per the Official Community Plan, the three questions to be consistently asked in all levels and types of decision are:

1. Does the development move Hope toward our vision and goals for success and sustainability? Is it aligned with our OCP objectives and policies?

The proposal touches on the following OCP policy:

- *To support a variety of housing types, lot sizes, and densities to meet the changing needs of current and future residents.*
- *To promote and facilitate the development of market and non-market affordable housing.*
- *Develop emergency, transitional, supportive, and assisted housing by working independently and/or in partnership with other levels of government; and*
- *Prioritize the implementation of existing affordable housing initiatives.*

2. Will it provide a good return on investment?

From a housing spectrum perspective, this type of development is missing in Hope. This development will provide an important societal housing transition from shelter supports to supportive housing to independent living.

3. Is it a flexible platform for future steps towards our vision, goals and objectives?

This platform is flexible and requires Council approval. The proposal is very much aligned with the goals and objectives of the community vision.

C. Attachments:

1. Location & Zoning Map
2. OCP Land Use Map
3. Site Plan Excerpt
4. Color Renderings

D. Property Information:

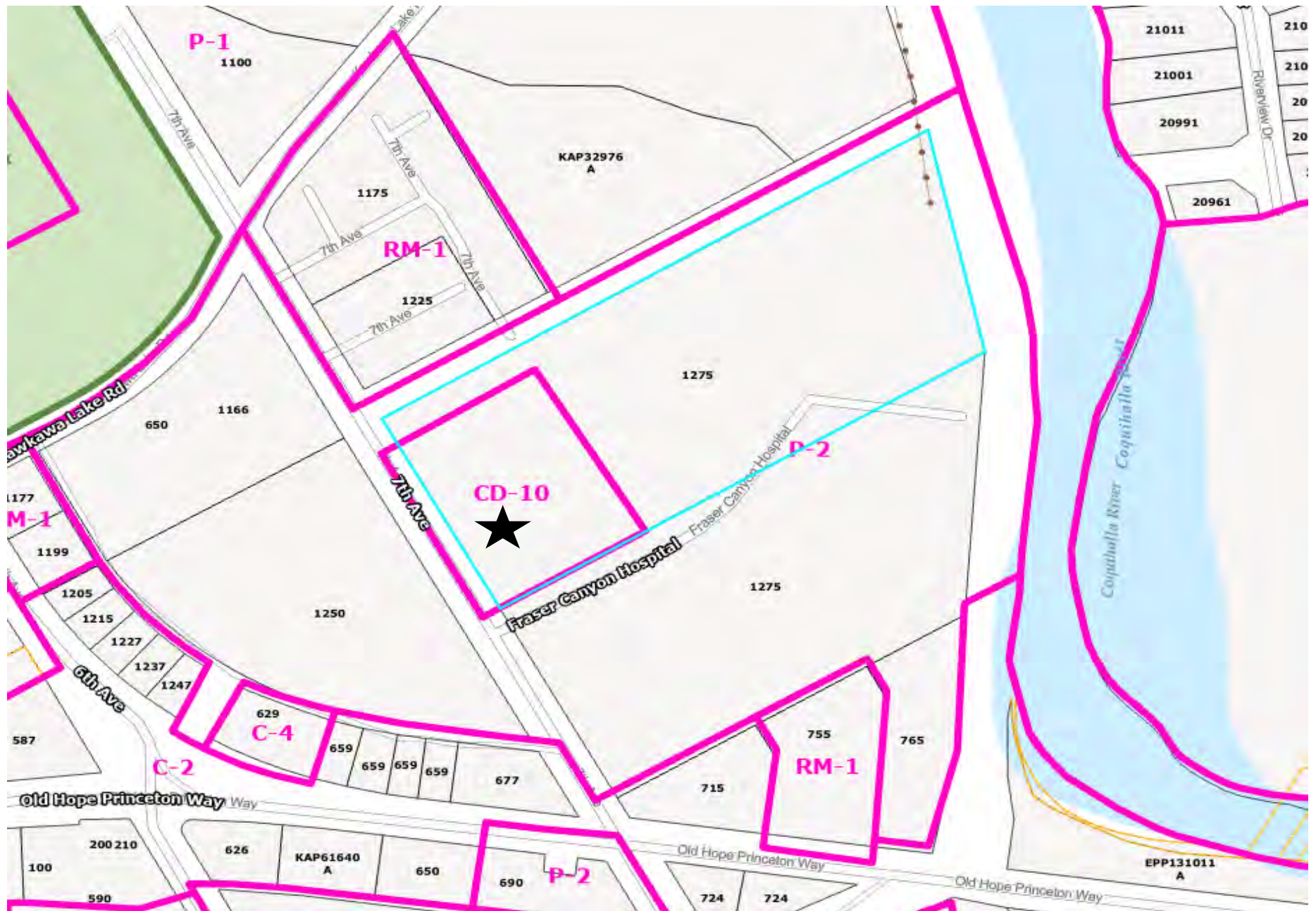
1. Civic Addresses: 1275 7th Avenue
2. Legal Description: Lot 5A Block 3 Townsite of Hope Suburban
3. PID Numbers: 001-891-740
4. Current Zoning: Comprehensive Development 10 (CD-10)
5. Current OCP Designation: Urban/Suburban Residential

Approved by:

Approved for submission to Council:

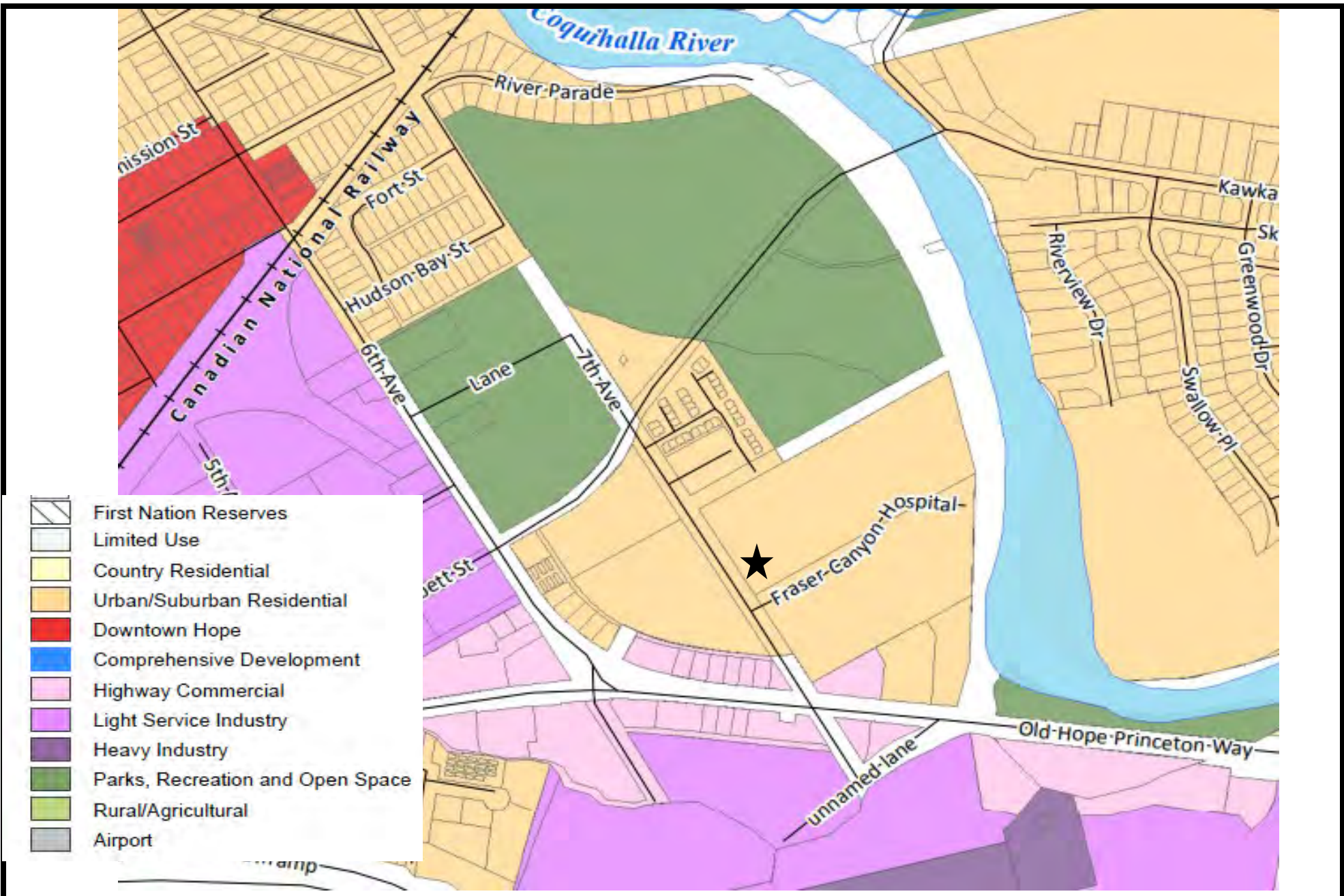
Original Signed by Robin Beukens
Director of Community Development

Original Signed by John Fortoloczky
Chief Administrative Officer



1275 7th Avenue
Applicant: Martin Pykalo Architect Inc (Acting for BC Housing)

Location & Zoning Map



1275 7th Avenue

Applicant: Martin Pykalo Architect Inc (Acting for BC Housing)

OCP Land Use Map

Hope Supportive Housing and Shelter

1275 7th Avenue, Hope, BC



NOTES
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THE PROJECT DRAWINGS AND SPECIFICATIONS ARE INTEGRAL AND RESPONSIBLE PARTS OF THE CONTRACT DOCUMENTS. THEY ARE COMPLEMENTARY TO EACH TO THE OTHER, AND WHAT IS REQUIRED BY ONE, TO BE BINDING AS IF REQUIRED BY ALL.

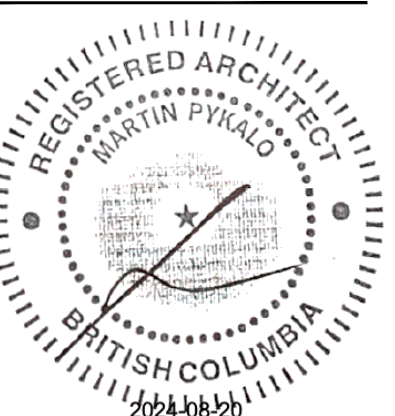
SURVEY INFORMATION PROVIDED BY: VICTOR GEOMATICS LAND SURVEYING LTD. DATED: 2023-10-10

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THE DESIGN OF ALL SUSPENDED COMPONENTS INCLUDING SUBHEADS, CEILING, EQUIPMENT, PIPING AND OTHER SUSPENDED ITEMS, AS WELL AS OTHER ENGINEERED MANUFACTURED COMPONENTS MUST BE CARRIED OUT BY PROFESSIONAL STRUCTURAL ENGINEERS, REGISTERED TO PRACTICE IN THE PROVINCE OF BRITISH COLUMBIA AND EMPLOYED DIRECTLY BY THE RESPECTIVE CONTRACTOR AND/OR SUB-CONTRACTOR. DESIGNS SHALL TAKE INTO ACCOUNT ALL SEISMIC AND DESIGN LOAD REQUIREMENTS, AS SET OUT IN THE BRITISH COLUMBIA BUILDING CODE (BCBC), LATEST EDITION. THE PROFESSIONAL STRUCTURAL ENGINEER SHALL PREPARE SIGNED AND SEALED DRAWINGS AND CERTIFY THE COMPLETED INSTALLATION, UTILIZING SCHEDULES S-8, B, S-2 AND C-4 OF THE APPEGGC AND THE BCBC. THE DESIGNS ARE ALSO SUBJECT TO THE APPROVAL OF THE OWNER AND ARCHITECT WITH REGARD TO SUITABILITY OF APPEARANCE AND COMPATIBILITY WITH ADJACENT WORK.

ISSUES + REVISIONS

NO	DATE	DESCRIPTION
001	21 AUG 24	ISSUED FOR DP



mpa

Martin Pyskalo Architect Inc.
 1113 Lennox Road
 Bowen Island, BC, V9N 1G0
 (604) 346-6008
 info@martinpyskalosarchitect.com
 www.martinpyskalosarchitect.com

PROJECT NAME
 Hope Supportive Housing
 CLIENT NAME
 BC Housing & Hope and Area Transition Society
 PROJECT ADDRESS
 LOT 5A, BLOCK 3
 Hope, B.C.

PROJECT NUMBER
 23-009
 STATUS
 -
 SCALE
 nts
 DATE
 27 JULY 2023
 SHEET DESCRIPTION
 Cover Page

A1.01
 070

ZONING SUMMARY

23-009 HOPE SHELTER & SUPPORTIVE HOUSING	
Zoning Analysis	Criteria
Lot Area	1.95 acre
Zone	CD-10 (Comprehensive Development)
Permitted Principal Uses	Shelter (15 beds) Supportive Housing (56 supportive units) Medical Offices
Provided Principal Uses	Shelter (15 beds) Supportive Housing (56 supportive units) Medical Offices
Permitted Accessory Uses	Interior amenity areas Exterior amenity areas Accessory buildings or structures Administration and office space for use by program staff
Provided Accessory Uses	Interior amenity areas Exterior amenity areas Accessory buildings or structures Administration and office space for use by program staff
Lot Coverage Maximum	50 % Notes: 1.) Lot coverage is the footprint of all buildings and structures. 2.) Structures do not include fences, or flat surfaces for pedestrian and vehicular movement.
Lot Coverage Provided	21.3 % Main building coverage: 1571.1 sq. m. (16,911.24 sq. ft.) Accessory Structure: 112.1 sq. m. (1207 sq. ft.) Total building coverage: 1683.2 sq. m. (18,118.24 sq. ft.)
Floor Area Ratio Maximum	1.0
Floor Area Ratio Provided	0.35
Floor Areas Provided	All buildings: 2722.2 sq. m. (29,301.13 sq. ft.) Housing Unit: 2621.7 sq. m. (28,220 sq. ft.) **(not including corridors, stairs, shafts) Accessory portion: 100.4 sq. m. (1081.13 sq. ft.)
Height	Housing Unit: 12.5 m Accessory Building or Structure: 3 m
Height Provided	Housing Unit: 12.4 m (39'-8") Accessory Building or Structure: 3 m (9'-10")
Setbacks	Housing Unit: Front Lot Line (7th Avenue): 7.5 m Rear Lease Boundary: 6 m Side Lease Boundary: 14 m Accessory Building or Structure: Front Lot Line (7th Avenue): 2 m Rear Lease Boundary: 1 m Side Lease Boundary: 1 m
Parking	Standard Parking Stall: 25 Parking Stall Reserved for Disabled Persons: 3 TOTAL PARKING STALLS: 28 Loading Stall: 1
Parking Provided	Standard Parking Stall: 25 Parking Stall Reserved for Disabled Persons: 3 TOTAL PARKING STALLS: 28 Loading Stall: 1

BUILDING CODE SUMMARY

23-009 HOPE SHELTER & SUPPORTIVE HOUSING			
BCBC 2024 Data Analysis		Project Application	BCBC 2024 Reference
PROJECT INFORMATION			NOTES
Project Description		New	Part 3, Div B
Governing Code Provisions		Group B3, Care	3.1.2.1
Major Occupancy Classification		C, B3	
Building Area		1,274.3 sq. m. (13,717 sq. ft.)	
Gross Area		3,815.5 sq. m. (41,069 sq. ft.)	
Building Height in Storeys		3	3.2.1.1
Number of Streets Facing		2 - private access road	3.2.2.10; 3.2.5.6.
Parade as Separate Building		No	
Access Route Required		Yes	3.2.5.4
Occupant Load		164 OCCUPANTS TOTAL	3.1.17.1
RESIDENTIAL SUITES		56 Residential suites/bedroom = 112 occupants	
SHELTER DORMITORIES		7 Shelter Dormitories = 15 occupants EWR = 15 occupants = 30 occupants	
OFFICES		Office: 9.3 m2/person 199m2/ 9.3m2 = 22 occupants	
CONSTRUCTION REQUIREMENTS			
Building Classification		Group B3, Up to 3 storeys, sprinklered	combustible or non-combustible 3.2.2.44 (3.2.2.55; 3.2.2.63)
Construction Type		Combustible/Non-combustible permitted	3.2.2.44
Required FRR - Horizontal Assemblies		Roof Supporting Members	1 hr FRR fire separation Not required 1 hr FRR fire separation 3.2.2.44 3.2.2.44
Major Occupancy Separation		Public Corridor Suite Separation Exits	1 hr FRR fire separation 1 hr FRR fire separation 1 hr FRR Fire separation 3.3.3.5 3.3.3.5
Required FRR - Use Areas		Corridors - Other Common Laundry Janitor's Room	0 0 0 if floor area is sprinklered 3.3.1.22(3) 3.3.1.21(3)
Required FRR - Service Areas		Exits Electrical Room Mechanical Room	1 hr FRR fire separation 1 hr FRR fire separation 1 hr FRR fire separation 3.4.4.1(1) 3.6.2.1(6) 3.6.2.1(1)
Sprinkler System (Automatic)			Required 3.2.2.18; 3.2.5.12; NFPA-13 (throughout)
Annunciator			Required 3.2.4.8
Fire Alarm System			Required 3.2.4.1(1), CAN/ULC-S524
Central Station Monitoring			Required NFPA 13-2013
Smoke Alarms			Required 3.2.4.20
Visible Warning System			Required where needed by Section 3.8 3.2.4.19(3); 3.8.2.12
Standpipe			Not Required 3.2.5.8
Water Service/Supply Adequate for Fire Fighting			Yes 3.2.5.7
Portable Fire Extinguishers			Required NFPA 10
Emergency Lighting/Power Supply			Required min. 1/2 hr duration 3.2.7.3
Hazardous Substances, Equipment and Processes (Ventilation of Cooking Equipment)			Required 3.3.1.2.(2); 3.3.1.20
Fire Blocks			Required at every wall to floor connection and at every floor level
Fire Stops			Required at penetration of fire separations by all building
Spatial Separations			Not Required building location exceeds 9m in all directions
OTHER REQUIREMENTS			
Door Hardware (Panic)		Required	Emergency Exit Doors to have Delayed Egress BCH Requirement
Accessible Design		Required	3.8.2.1
Power Door Operators		Required at all pedestrian entry doors, in all accessible path of travel where self-closing devices, and for accessible	3.8.2.7
Power Door Operators		Provided	BCH Requirement
Accessible Sleeping Beds Required		Not Required	3.8.2.13
Accessible Sleeping Beds Provided		5% required by BCH	4 BCH Requirement
Accessible Path of Travel		Required	Main Floor to Common Areas, Accessible Washrooms, and Accessible Dwelling Units (Level 2) 3.8.2.1
Adaptable Dwelling Units Required		Not Required	3.8.5.1.

PROJECT DIRECTORY:

Client:	BC Housing Aliya Tejani, Senior Development Manager 1701 - 4555 Kingsway Burnaby, BC V5H 4V8 236-788-7031 atejani@bchousing.org
Construction Manager:	Buttcon West Limited Michael Lavender, Project Manager 202-1400 Kensington Road, NW Clagary, AB T2N 3P9 587-917-5395 mlavender@buttconwest.com
Architect:	Martin Pykalo Architect Inc. Martin Pykalo, Architect AIBC 1113 Lenora Road Bowen Island, BC V0N 1G1 604-346-6068 martin@martinpykaloarchitect.com
Landscape Architect:	PMG Landscape Architects Ltd. Rebecca Krebs C100 4185 Still Creek Drive Burnaby, BC V5C 6G9 604-726-7427 rebecca@pmglandscape.com
Structural Eng.:	CanStruct Engineering Group Martin Waibel, P.Eng. 201-1449 104th Avenue Surrey, BC V3R 1M1 604-307-3009 mcwaibel@telus.net
Mechanical Eng.:	ITEC Systems Design Ltd. Aly Eldeeb, P. Eng. 4-20092-93A Avenue Surrey, BC V1M 3Y4 778-878-0951 aeldeeb@itecsys.com
Energy Modeling:	Entuitive. Salah Imam, PhD 1020- 1075 West Georgia Vancouver, BC V6E 3C9 604-318-5489 Salah.Imam@entuitive.com
Electrical Eng.:	ASN Engineering Shivjeet Sidhu, P.Eng. 12618 62 Ave Surrey, BC V3X 1V5 604-724-0701 ssidhu@asnengineering.com
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Geotechnical:	Arya Engineering Farid Enahdi., P.Eng. 219-980 West 1st Ave. North Vancouver, BC V7P 3N4 604-886-1515 info@aryaeng.ca
Survey:	Vector Geomatics Land Surveying Ltd. Gupreet Singh Kooner, BCLS 6-7965 Venture Place Chilliwack, BC V2R 0K2 604-792-4264 gurpreet.kooner@vpls.ca

DRAWINGS LIST:

Architectural	A1.01 Cover Sheet A1.02 Project Information A1.03 Survey Plan A1.04 Context Photos A1.05 Site Plan A2.02 Level One Floor Plan A2.03 Level Two Floor Plan A2.04 Level Three Floor Plan A3.01 Elevations, West, North, South A3.02 Elevations East A4.01 Building Sections A5.01 Wall Sections A6.04 Exterior Envelope Details A7.06 Dormitory Washrooms A7.08 Suite Washrooms
Landscape	Landscape Plan Tree Protection Plan

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Hope Supportive Housing
CLIENT NAME
BC Housing & Hope and Area Transition Society
PROJECT ADDRESS
LOT 5A, BLOCK 3
Hope, B.C.

PROJECT NUMBER
23-009
STATUS
SCALE
nits
DATE
27 JULY 2023
SHEET DESCRIPTION
Project Information

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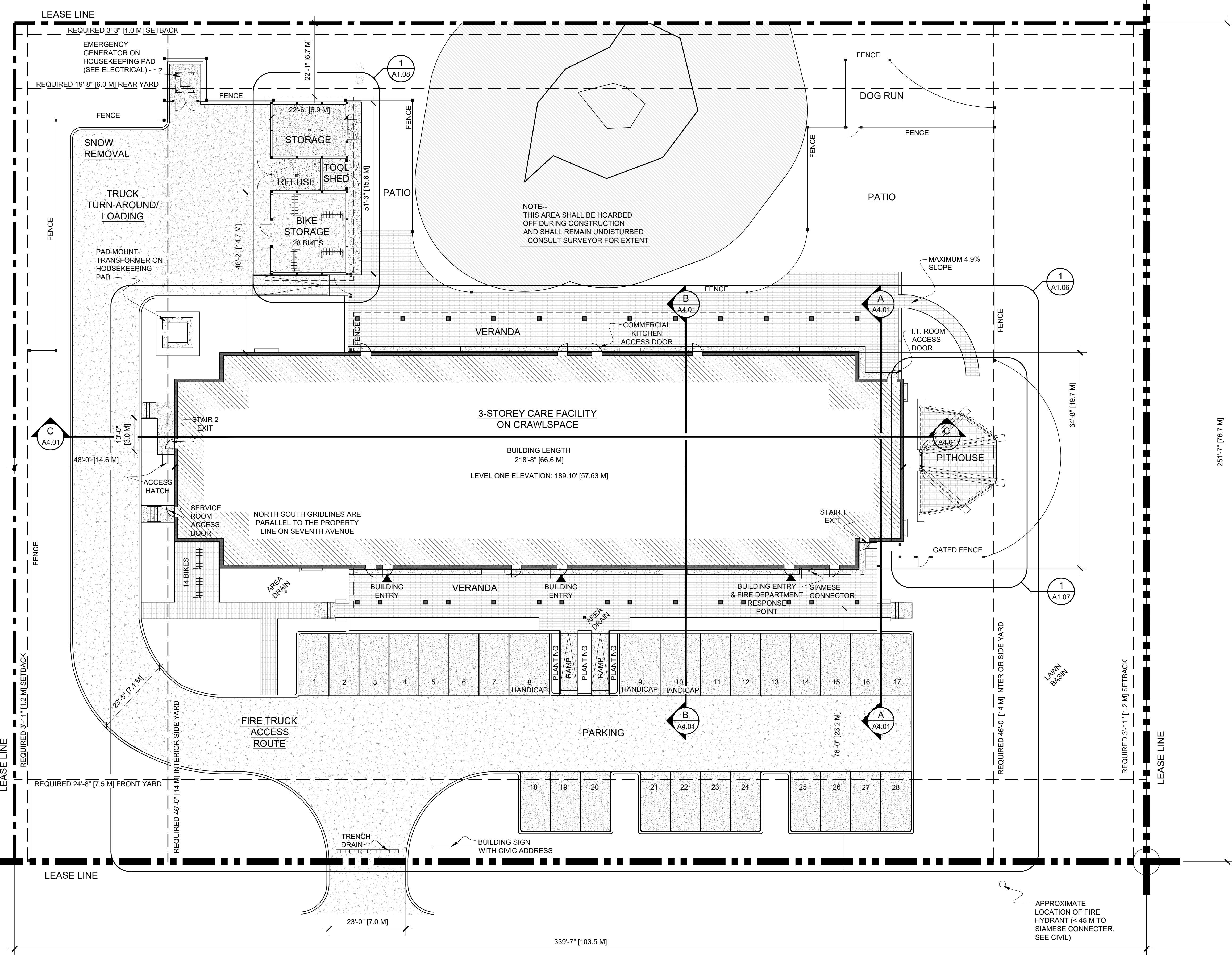
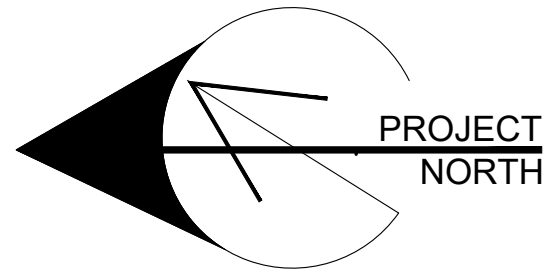
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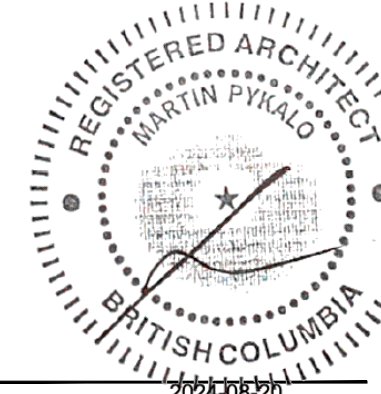
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- SYMBOLS**
- FLOOR/AREA DRAIN
 - ∨ SIAMESE CONNECTOR
 - SCUPPER
 - CEDAR POST (FENCE)
 - ▲ MAIN BUILDING ENTRY

- MATERIAL LEGEND**
- POROUS ASPHALT
 - BUILDING
 - CONCRETE
 - CONCRETE PAVERS
 - ARCHAEOLOGICAL MOUND & BUFFER ZONE



HOSPITAL ROAD



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PROJECT NAME: Hope Supportive Housing
 CLIENT NAME: BC Housing & Hope and Area Transition Society
 PROJECT ADDRESS: LOT 5A, BLOCK 3 Hope, B.C.

PROJECT NUMBER: 23-009
 STATUS: *
 SCALE: 1/16" = 1'-0"
 DATE: 27 JULY 2023
 SHEET DESCRIPTION: Site Plan

A1.05

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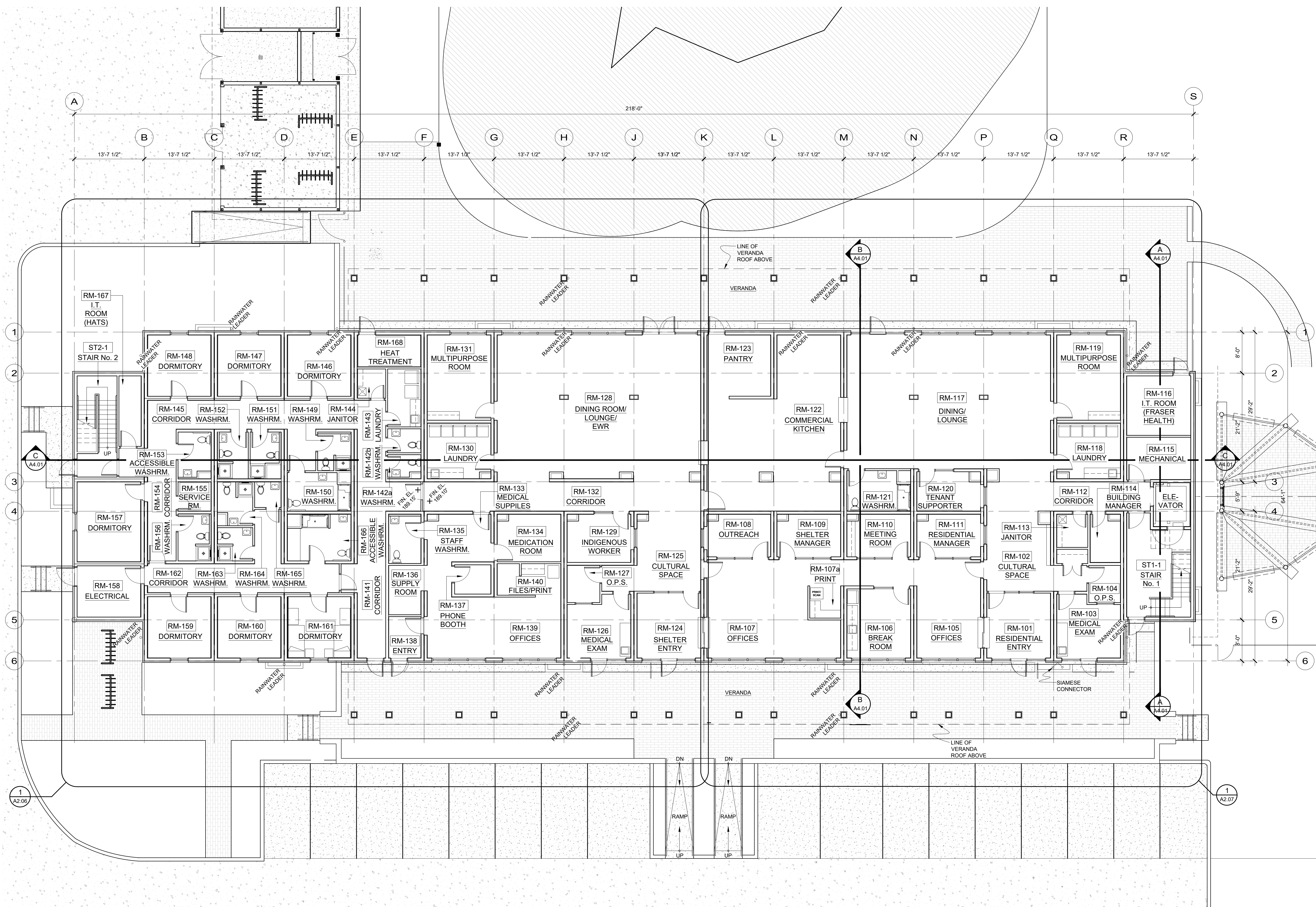
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 LOT 5A, BLOCK 3
 Hope, B.C.

PROJECT NUMBER
 23-009
 STATUS
 SCALE
 1/8" = 1'-0"
 DATE
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 SHEET DESCRIPTION
 Level One Plan

A2.02

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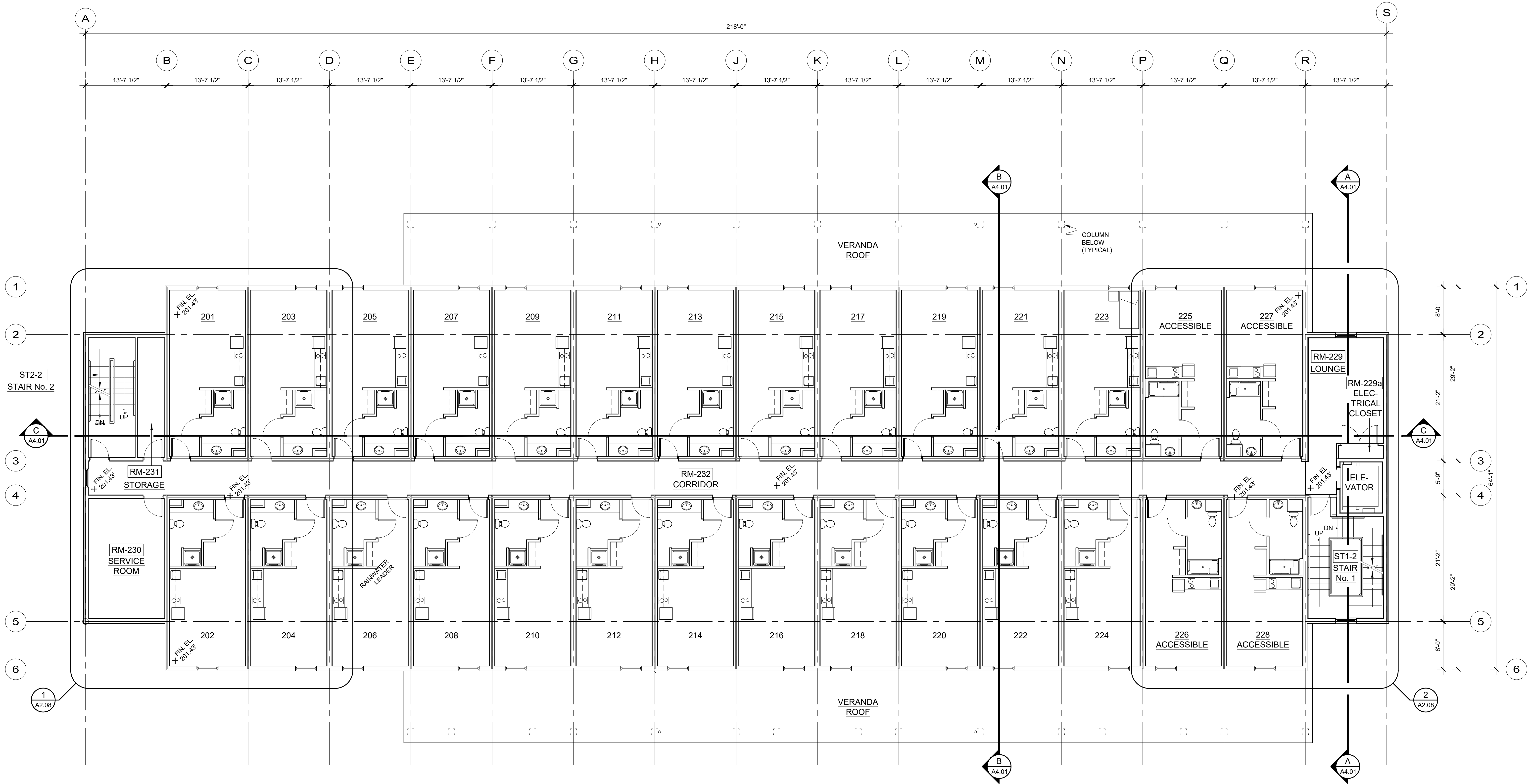
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 Level Two Plan

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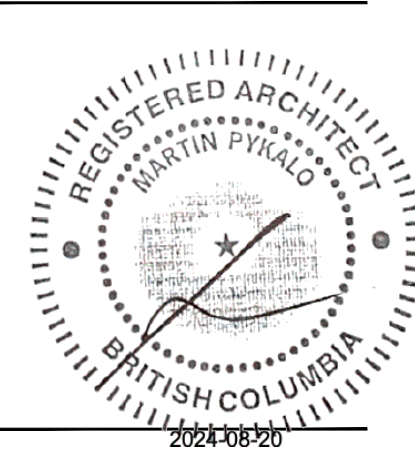
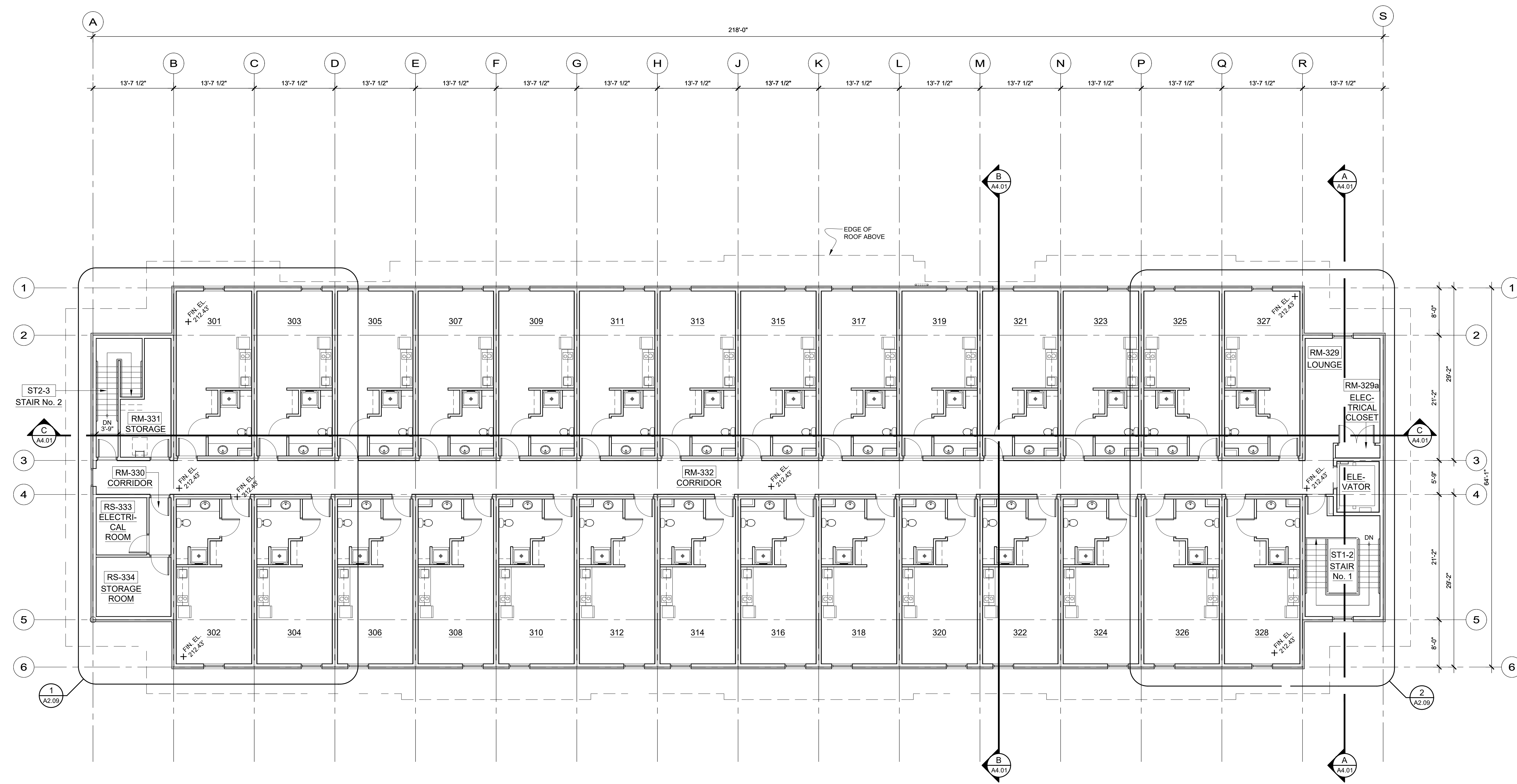
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 DATE
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 SHEET DESCRIPTION
 Level Three Plan

A2.04
 075

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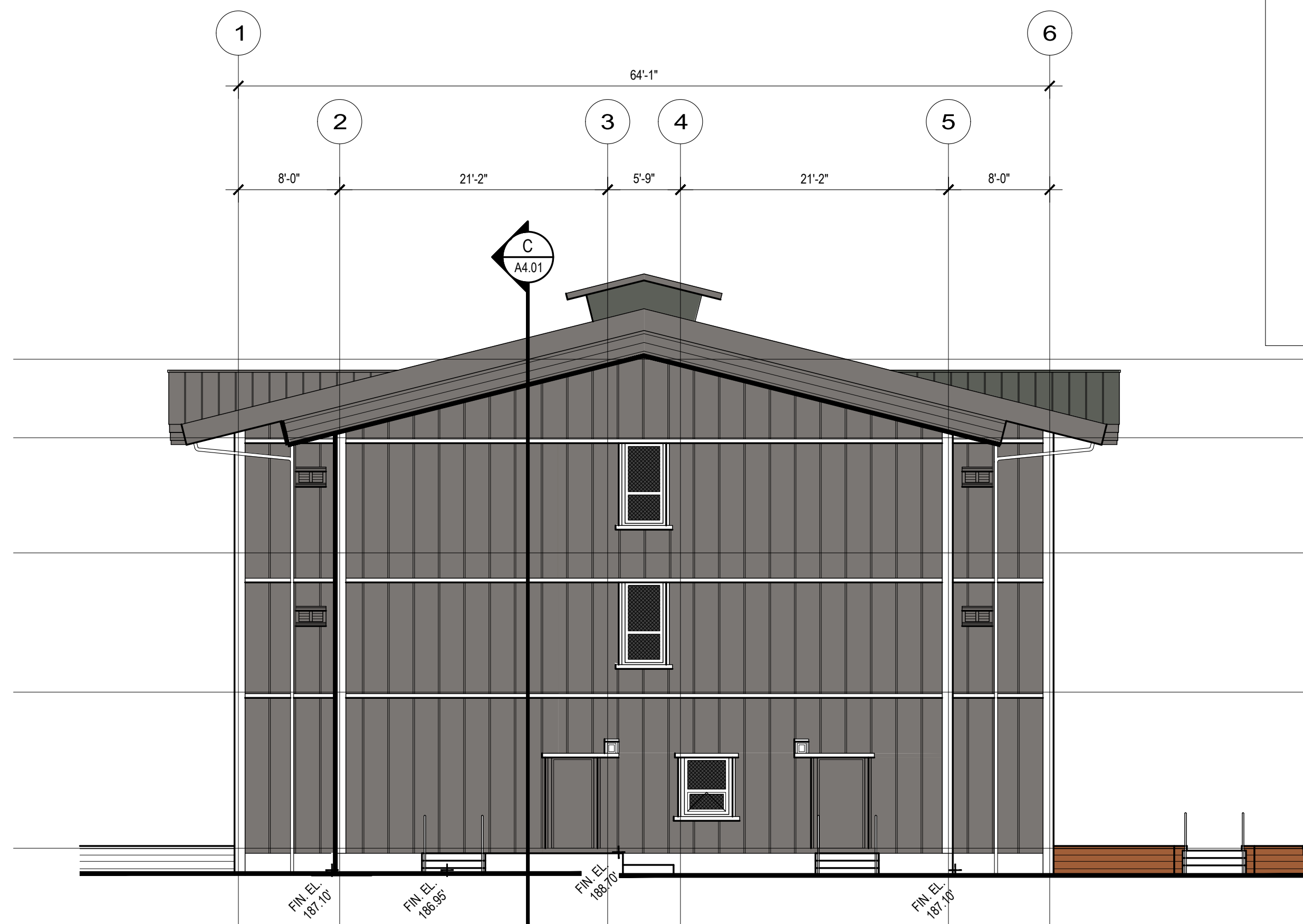


1 WEST ELEVATION
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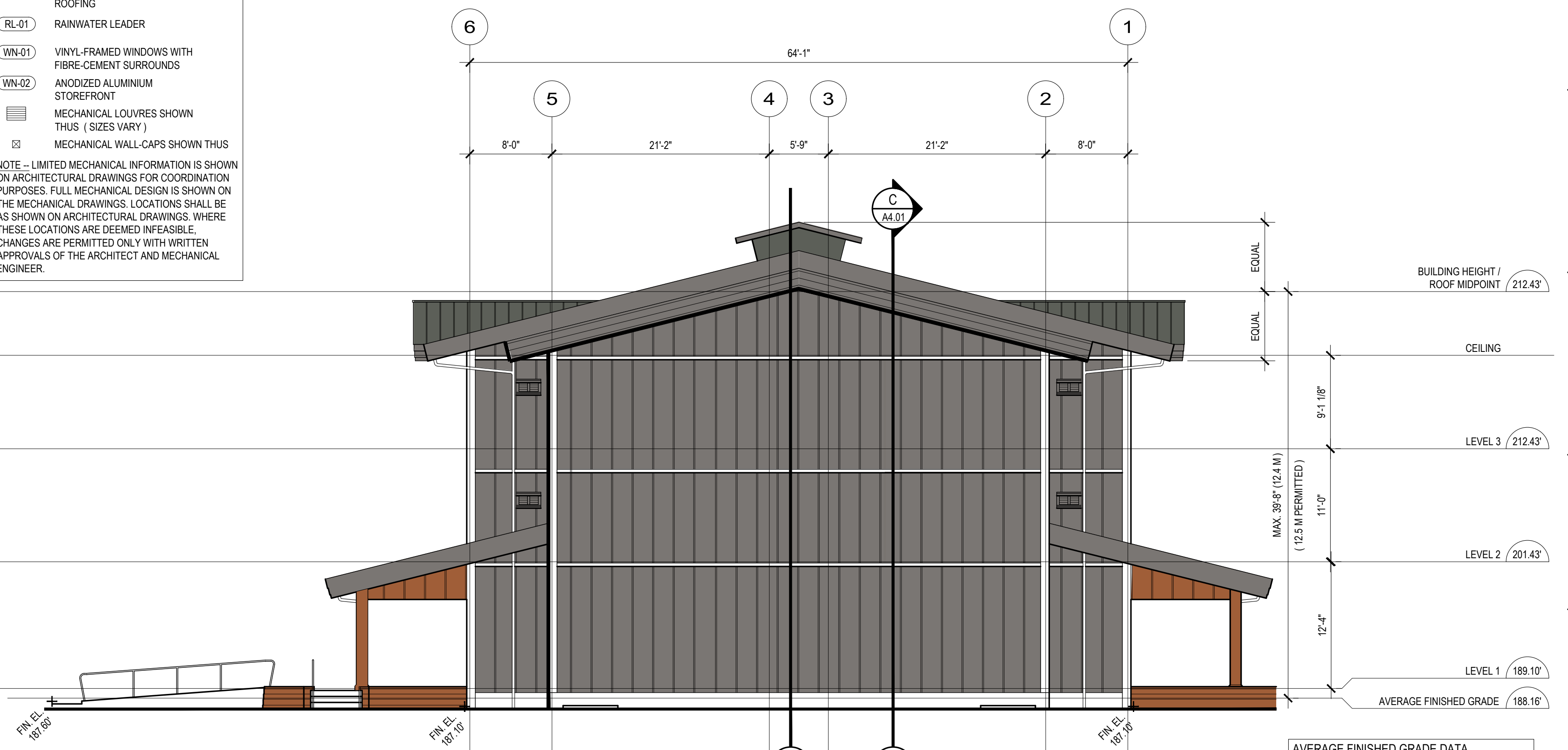
FINISHES & SYMBOLS

- (FC-01) FIBRE-CEMENT HORIZONTAL LAPPED SIDING
- (FC-02) FIBRE-CEMENT BOARD & BATTEN SIDING
- (FC-03) FIBRE-CEMENT PILASTERS
- (FC-04) FIBRE-CEMENT ROOF FASCIAS & SOFFITS
- (MT-01) METAL STANDING SEAM ROOFING
- (RL-01) RAINWATER LEADER
- (WN-01) VINYL-FRAMED WINDOWS WITH FIBRE-CEMENT SURROUNDS
- (WN-02) ANODIZED ALUMINIUM STOREFRONT
- MECHANICAL LOUVRES SHOWN THUS (SIZES VARY)
- MECHANICAL WALL-CAPS SHOWN THUS

NOTE - LIMITED MECHANICAL INFORMATION IS SHOWN ON ARCHITECTURAL DRAWINGS FOR COORDINATION PURPOSES. FULL MECHANICAL DESIGN IS SHOWN ON THE MECHANICAL DRAWINGS. LOCATIONS SHALL BE AS SHOWN ON ARCHITECTURAL DRAWINGS, WHERE THESE LOCATIONS ARE DEEMED INFEASIBLE, CHANGES ARE PERMITTED ONLY WITH WRITTEN APPROVALS OF THE ARCHITECT AND MECHANICAL ENGINEER.



2 NORTH ELEVATION
 Scale: 1/8" = 1'-0"



3 SOUTH ELEVATION
 Scale: 1/8" = 1'-0"

AVERAGE FINISHED GRADE DATA

BUILDING PERIMETER	566.6'
FINISHED GRADE AT 187.10'	35.4% of 566.6
FINISHED GRADE AT 188.80'	4.1% of 566.6
FINISHED GRADE AT 189.05'	60.4% of 566.6
AVERAGE FINISHED GRADE	188.16'



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 (604) 346-6008
 info@martinpyskalarchitect.com
 www.martinpyskalarchitect.com

PROJECT NAME
 Hope Supportive Housing
 CLIENT NAME
 BC Housing & Hope and Area Transition Society
 PROJECT ADDRESS
 LOT 5A, BLOCK 3
 Hope, B.C.

PROJECT NUMBER
 23-009
 STATUS
 SCALE
 1/8" = 1'-0"
 DATE
 27 JULY 2023

SHEET DESCRIPTION
 Elevations
 West, North, South
A3.01

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SURVEY INFORMATION PROVIDED BY: VECTRA GEOMATICS LAND SURVEYING LTD. DATED: 2021-10-10

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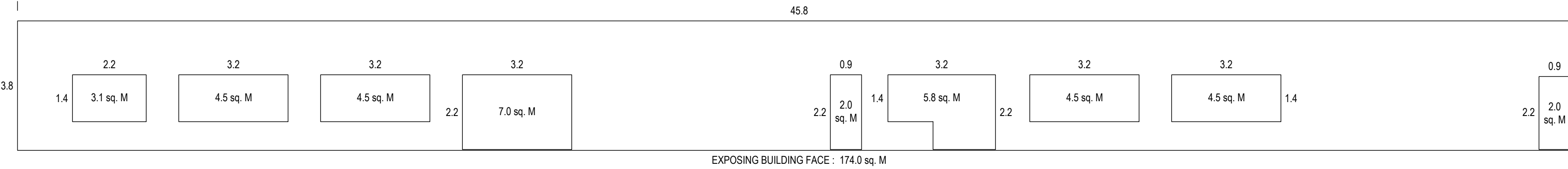
THE DESIGN OF ALL SUSPENDED COMPONENTS INCLUDING SILLHEADS, CEILING, EQUIPMENT, PIPING AND OTHER SUSPENDED ITEMS, AS WELL AS OTHER ENGINEERED/MANUFACTURED COMPONENTS MUST BE CARRIED OUT BY PROFESSIONAL STRUCTURAL ENGINEERS, REGISTERED TO PRACTICE IN THE PROVINCE OF BRITISH COLUMBIA AND EMPLOYED DIRECTLY BY THE RESPECTIVE CONTRACTOR AND/OR SUB-CONTRACTOR. DESIGNERS SHALL TAKE INTO ACCOUNT ALL SEISMIC AND DESIGN LOAD REQUIREMENTS, AS SET OUT IN THE BRITISH COLUMBIA BUILDING CODE (BCBC), LATEST EDITION. THE PROFESSIONAL STRUCTURAL ENGINEER SHALL PREPARE SIGNED AND SEALED DRAWINGS AND CERTIFY THE COMPLETED INSTALLATION, UTILIZING SCHEDULES S-8, S-8.1, S-8.2 AND C-4 OF THE APPLICABLE AND THE BCBC. THE DESIGNS ARE ALSO SUBJECT TO THE APPROVAL OF THE OWNER AND ARCHITECT WITH REGARD TO SUITABILITY OF APPEARANCE AND COMPATIBILITY WITH ADJACENT WORK.

ISSUES + REVISIONS

NO.	DATE	DESCRIPTION
001	21 AUG 24	ISSUED FOR DP



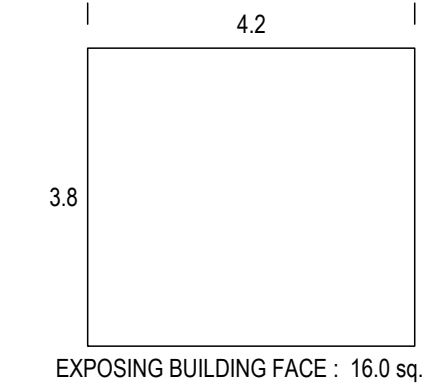
1 EAST ELEVATION
Scale: 1/8" = 1'-0"



EXPOSING BUILDING FACE : 174.0 sq. M

CALCULATION OF UNPROTECTED OPENINGS
(B.C.B.C. TABLE 3.2.3.1-D)

OCCUPANCY	B
LIMITING DISTANCE	7.3 M
AREA OF EXPOSING BUILDING FACE	174.0 sq. M
PERMITTED UNPROTECTED OPENINGS	71% = 123.5 sq. M
PROPOSED UNPROTECTED OPENINGS	37.9 sq. M



EXPOSING BUILDING FACE : 16.0 sq. M

CALCULATION OF UNPROTECTED OPENINGS
(B.C.B.C. TABLE 3.2.3.1-D)

OCCUPANCY	B
LIMITING DISTANCE	7.3 M
AREA OF EXPOSING BUILDING FACE	16.0 sq. M
PERMITTED UNPROTECTED OPENINGS	100%



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PROJECT NAME
Hope Supportive Housing
CLIENT NAME
BC Housing & Hope and Area Transition Society
PROJECT ADDRESS
LOT 5A, BLOCK 3
Hope, B.C.

PROJECT NUMBER
23-009
STATUS
SCALE
1/8" = 1'-0"
DATE
27 JULY 2023
SHEET DESCRIPTION
Elevation East

A3.01
077

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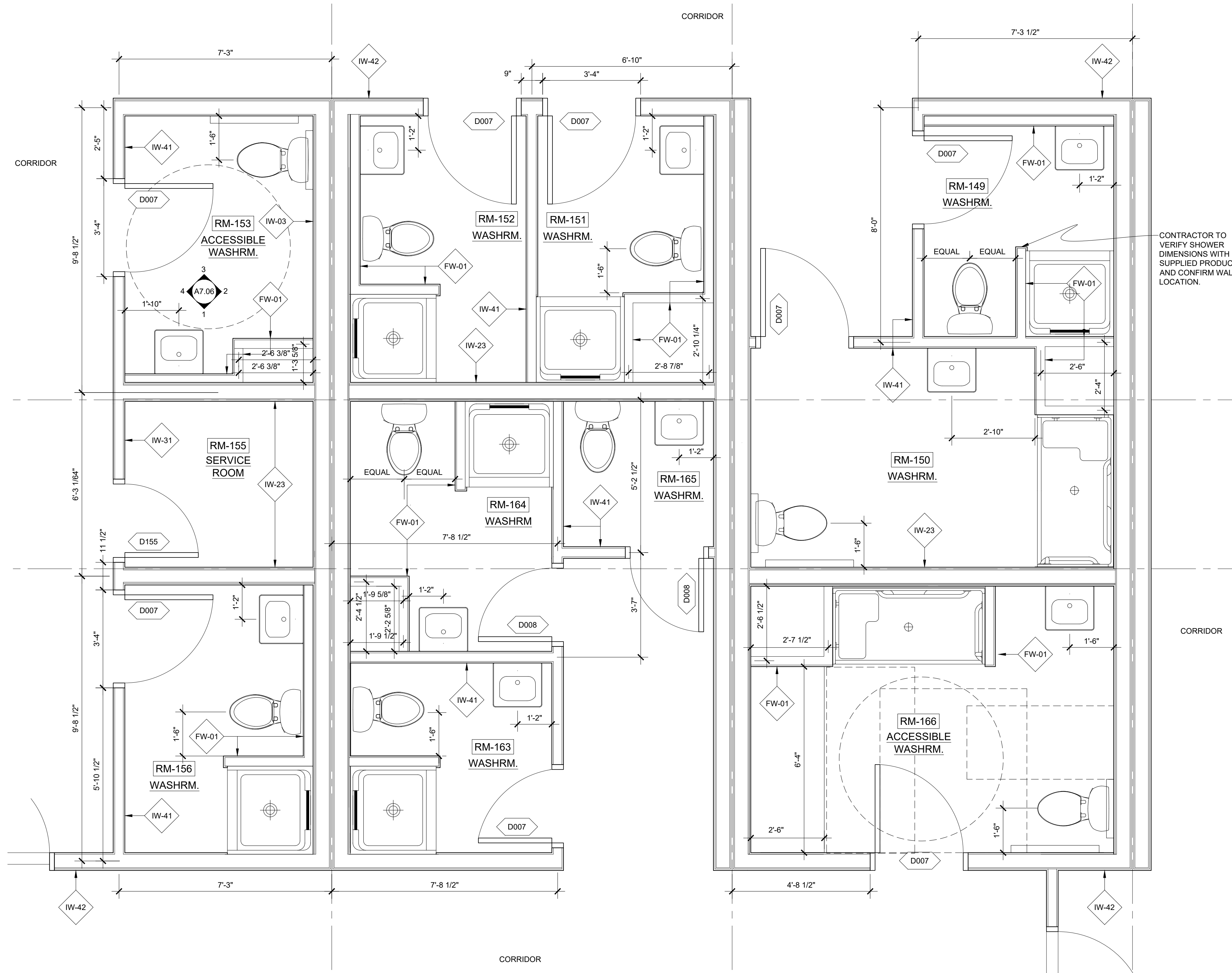
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SURVEY INFORMATION PROVIDED BY: VECTRA GEOMATICS LAND SURVEYING LTD. DATED: 2021-10-10

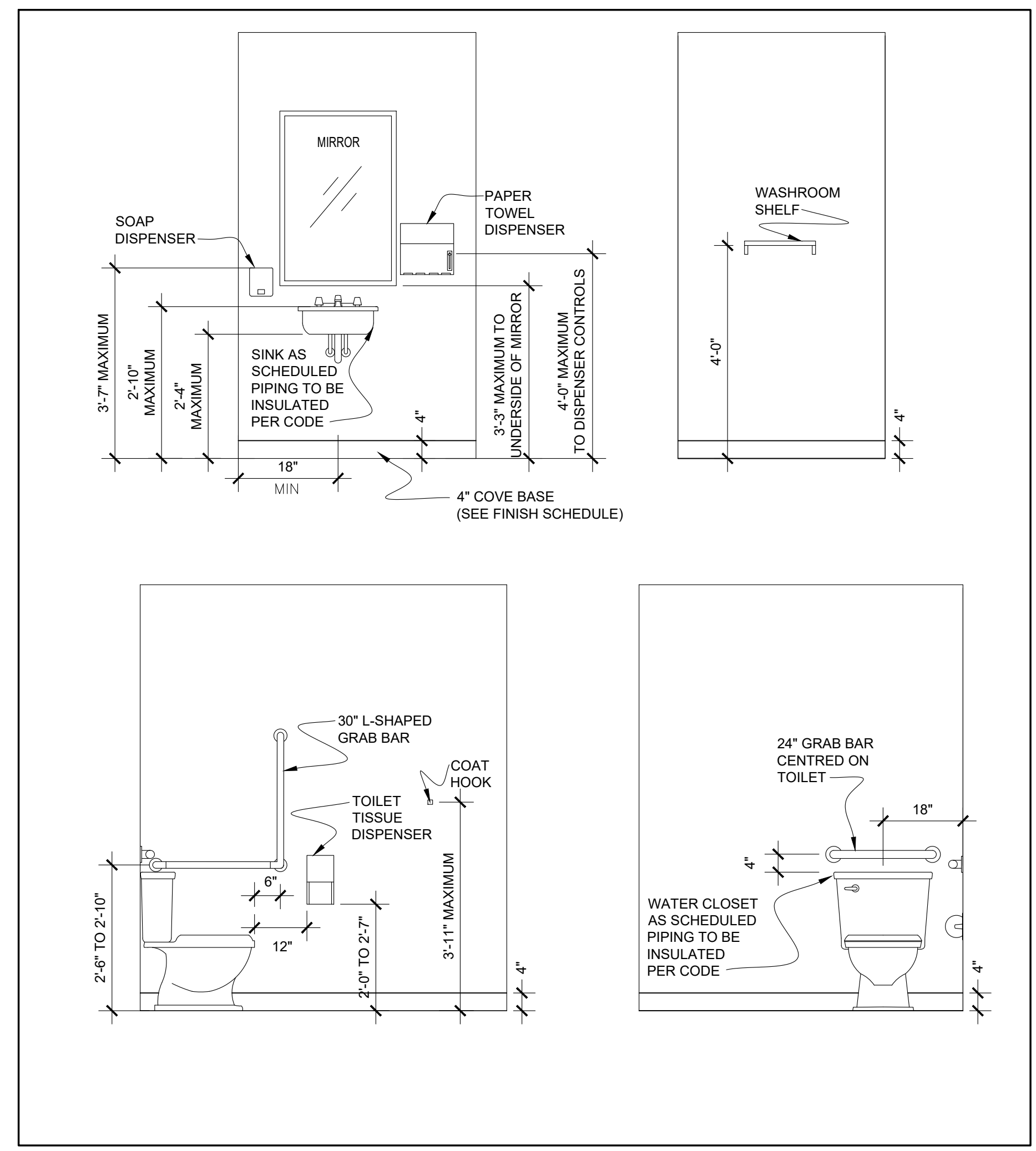
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ISSUES + REVISIONS		
NO.	DATE	DESCRIPTION
001	21 AUG 24	ISSUED FOR DP



CONTRACTOR TO VERIFY SHOWER DIMENSIONS WITH SUPPLIED PRODUCT AND CONFIRM WALL LOCATION.



1 SHELTER DORMITORY WASHROOM PLAN
Scale: 1/2" = 1'-0"

4 TYPICAL PUBLIC ACCESSIBLE WASHROOM ELEVATIONS
Scale: 1/2" = 1'-0"



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Hope Supportive Housing
CLIENT NAME
BC Housing & Hope and Area Transition Society
PROJECT ADDRESS
LOT 5A, BLOCK 3
Hope, B.C.

PROJECT NUMBER
23-009
STATUS
SCALE
1/2" = 1'-0"
DATE
27 JULY 2023
SHEET DESCRIPTION
Dormitory Washrooms

A7.06
78

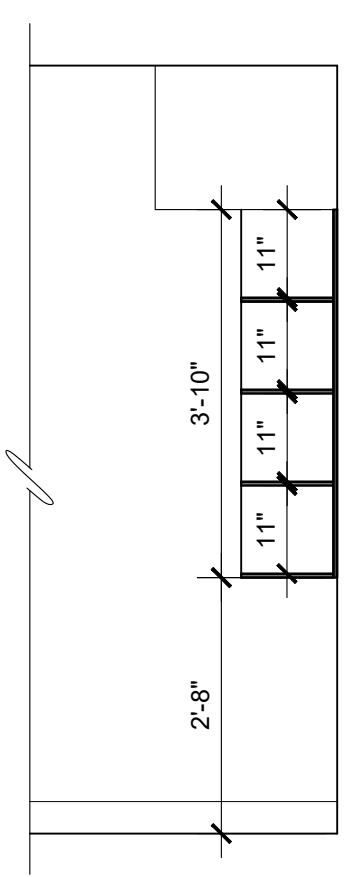
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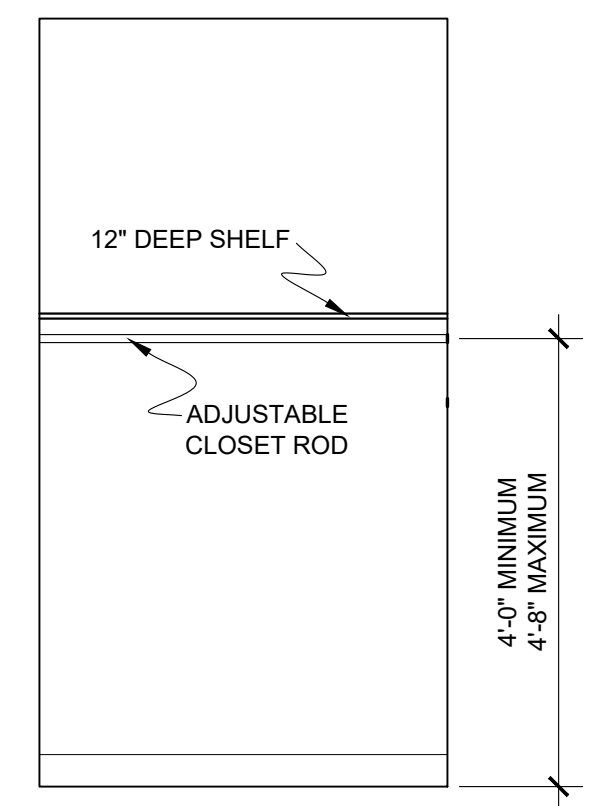
SURVEY INFORMATION PROVIDED BY: VICTOR GEOMATICS LAND SURVEYING LTD. DATED: 2021-10-10

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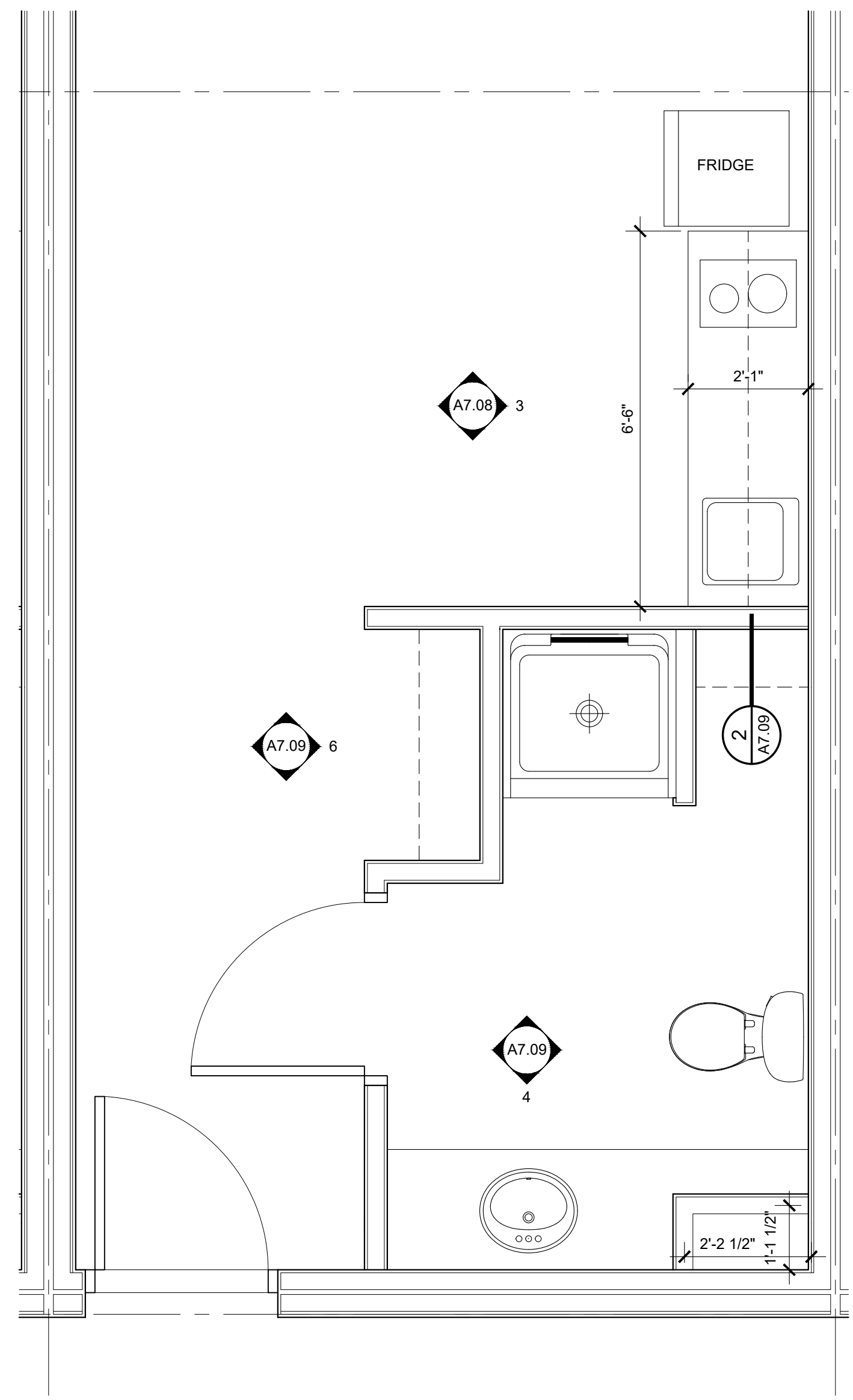
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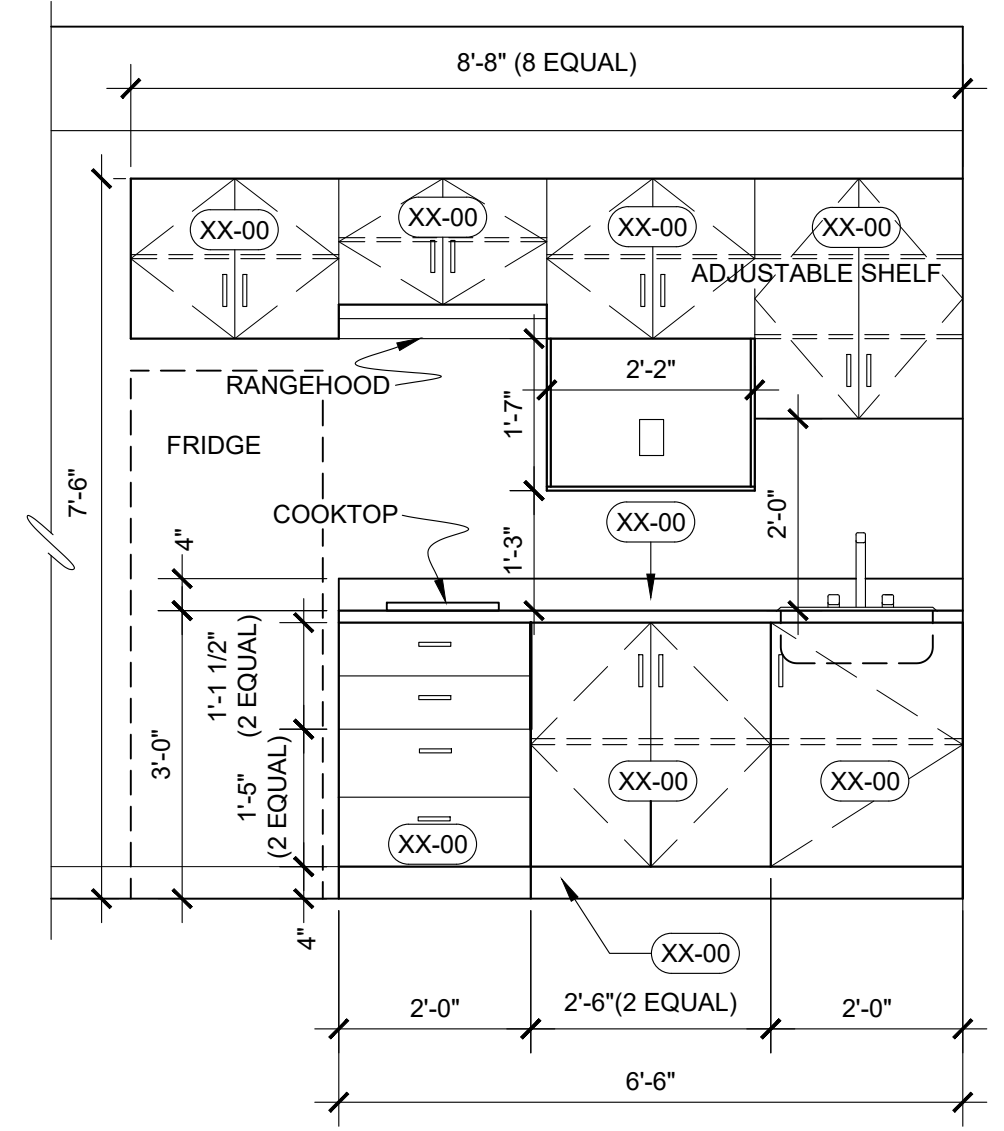
2 TYPICAL ADAPTABLE SUITE SHELF SECTION
 Scale: 1/2" = 1'-0"



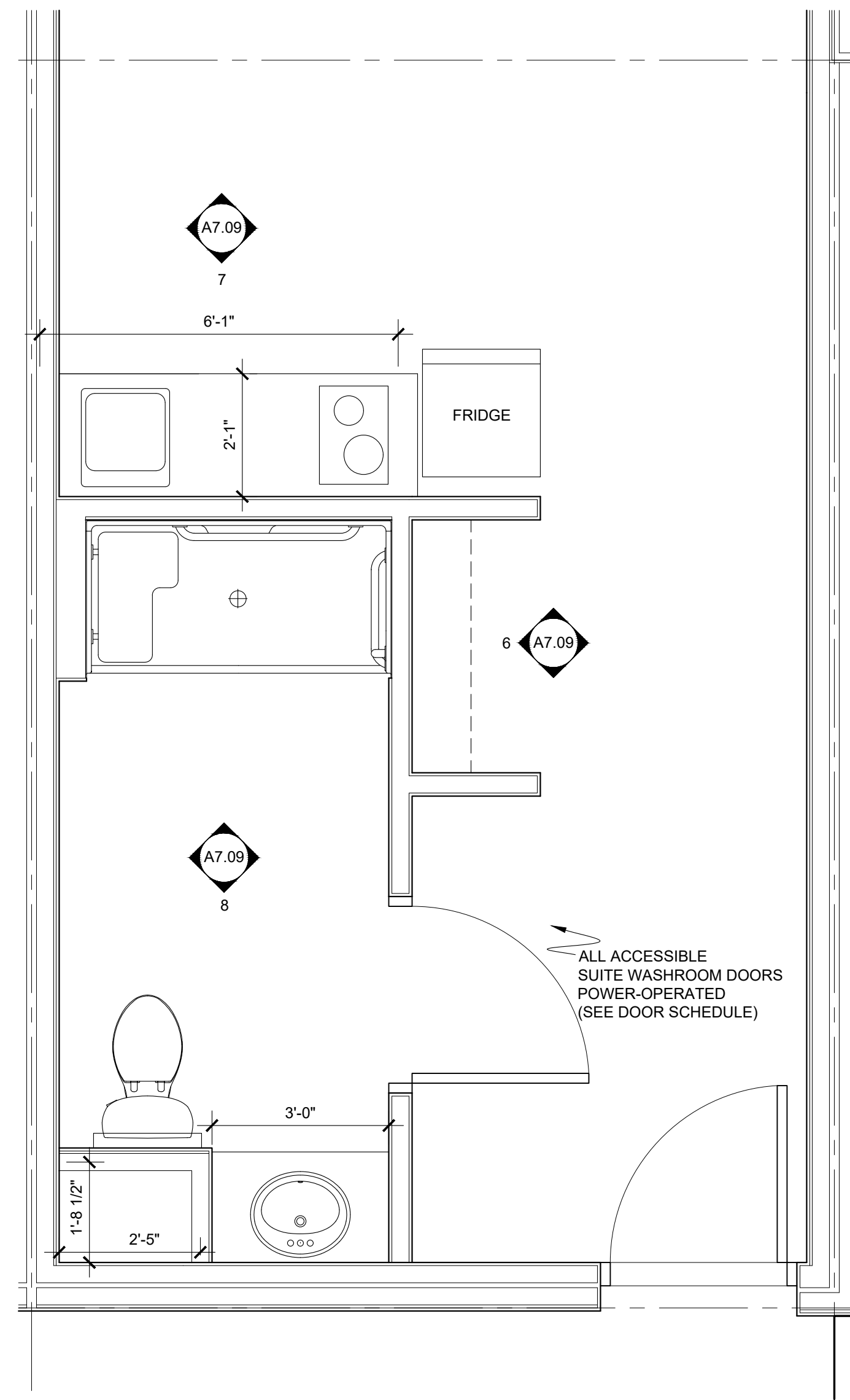
6 TYPICAL ACCESSIBLE SUITE CLOSET ELEVATION
 Scale: 1/2" = 1'-0"



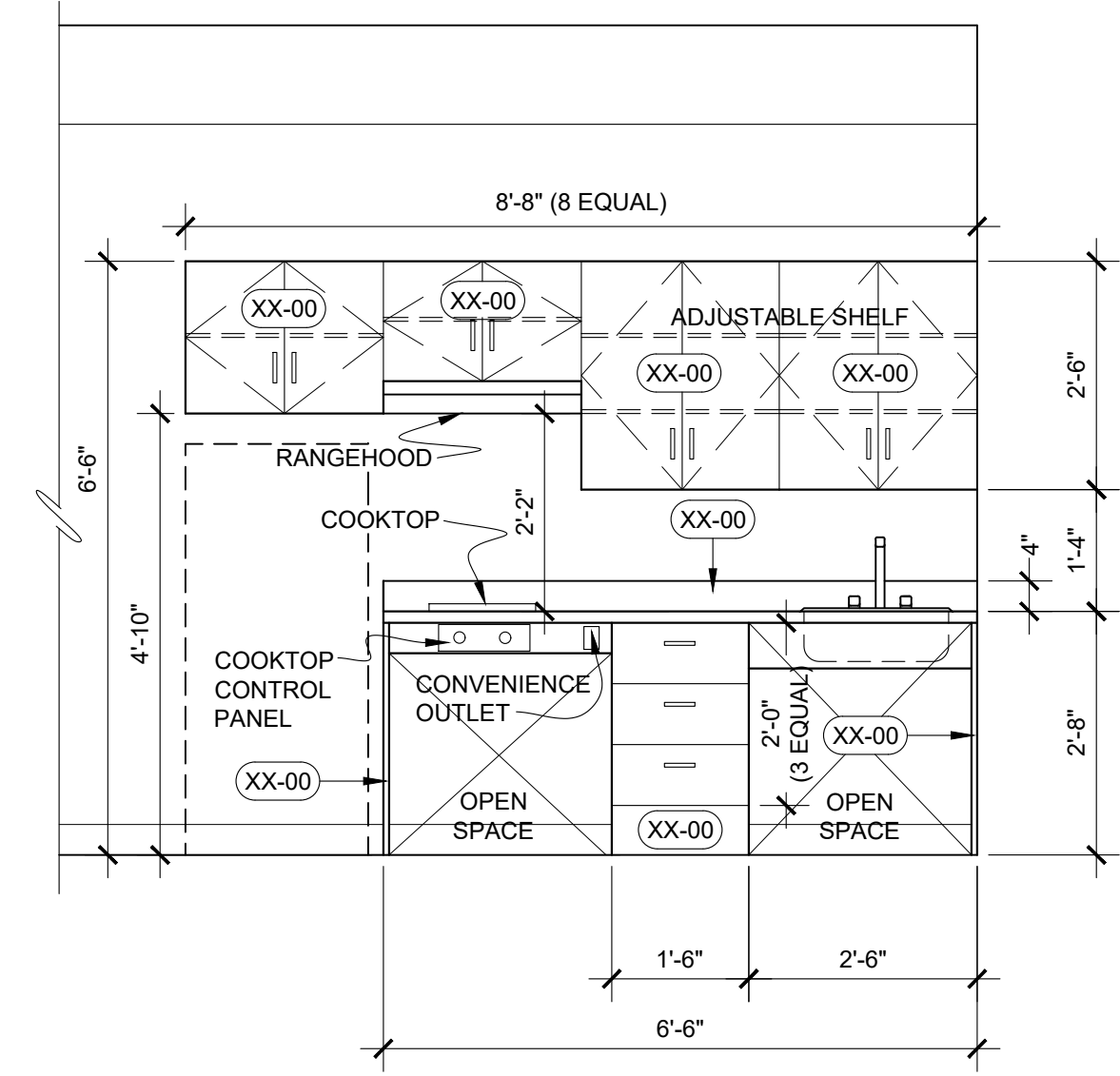
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 Scale: 1/2" = 1'-0"



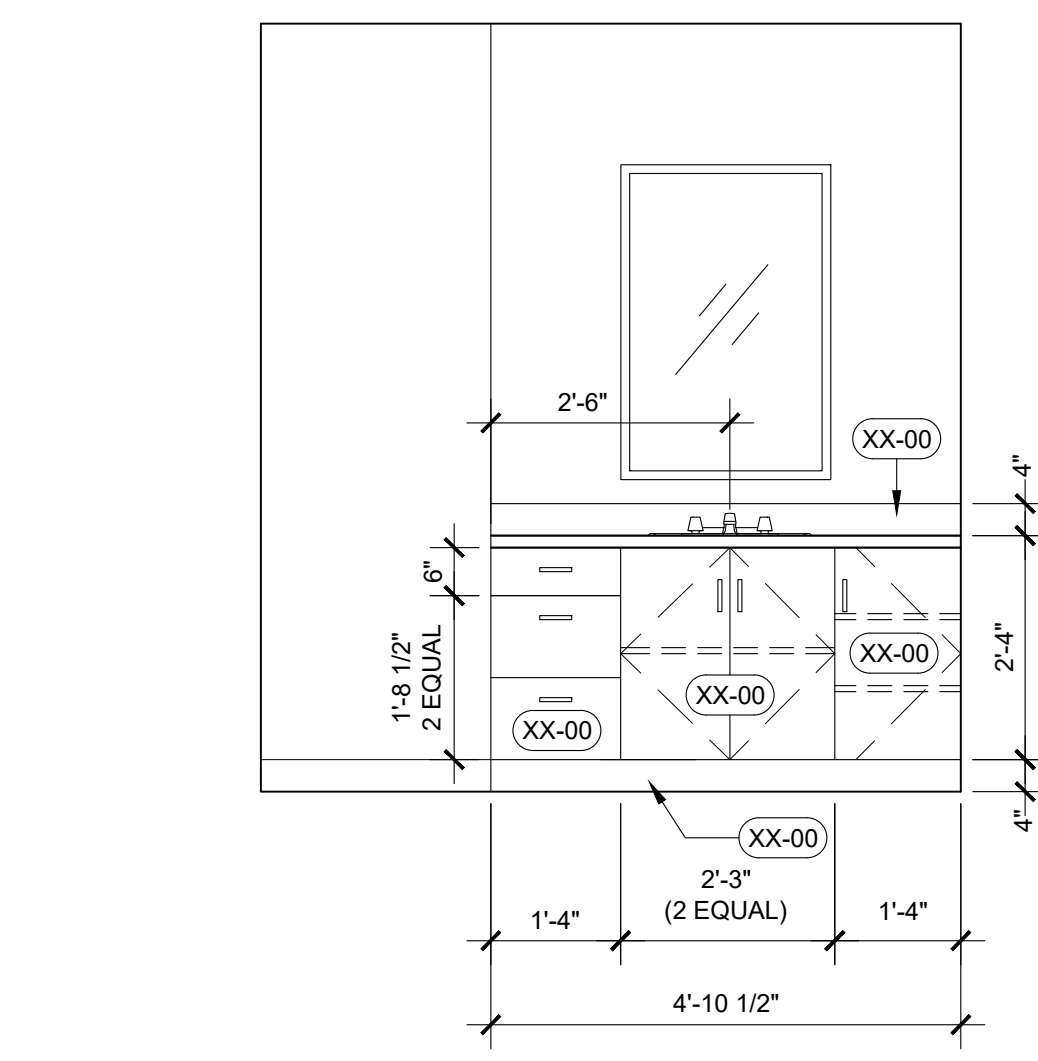
3 TYPICAL ADAPTABLE KITCHEN ELEVATION
 Scale: 1/2" = 1'-0"



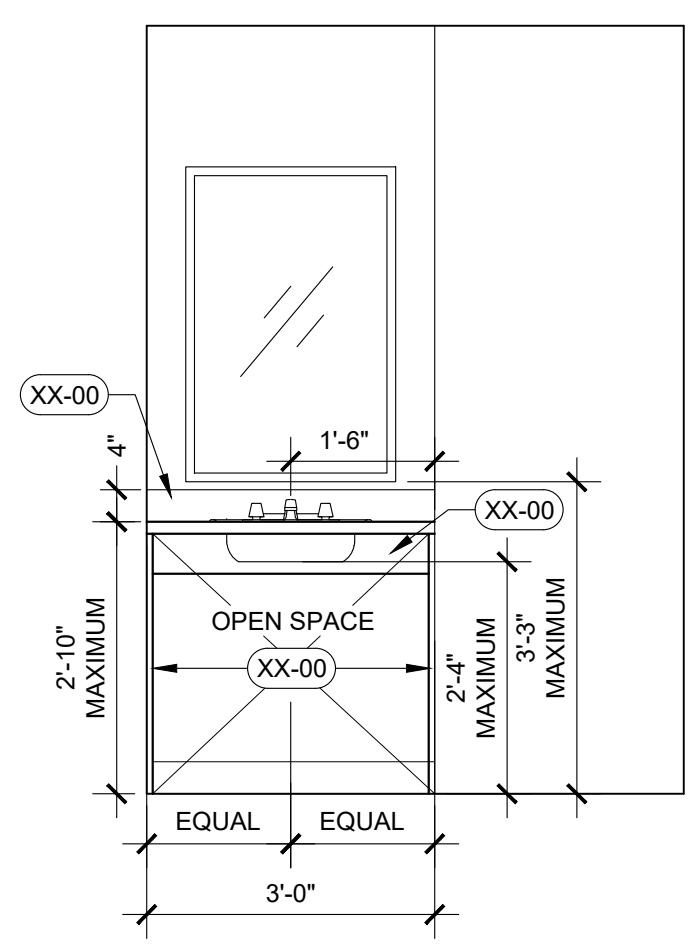
5 TYPICAL ACCESSIBLE SUITE PARTIAL PLAN
 Scale: 1/2" = 1'-0"



7 TYPICAL ACCESSIBLE KITCHEN ELEVATION
 Scale: 1/2" = 1'-0"



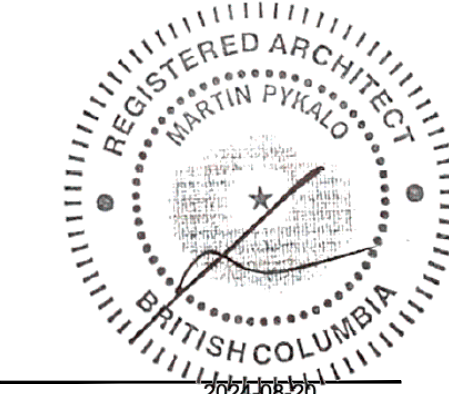
4 TYPICAL ADAPTABLE SUITE WASHROOM ELEVATION
 Scale: 1/2" = 1'-0"



8 TYPICAL ACCESSIBLE SUITE VANITY ELEVATION
 Scale: 1/2" = 1'-0"

ISSUES + REVISIONS

NO	DATE	DESCRIPTION
001	21 AUG 24	ISSUED FOR DP



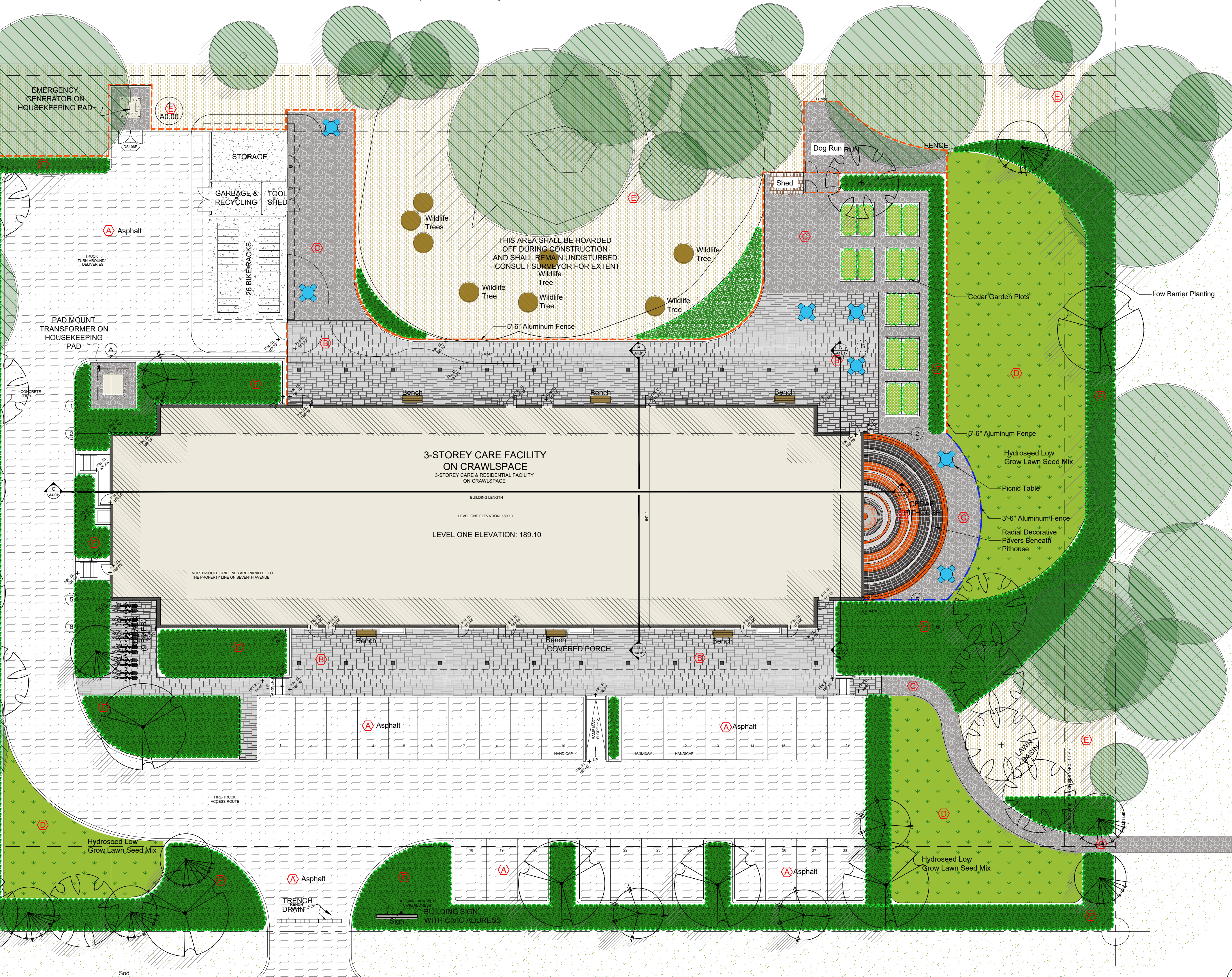
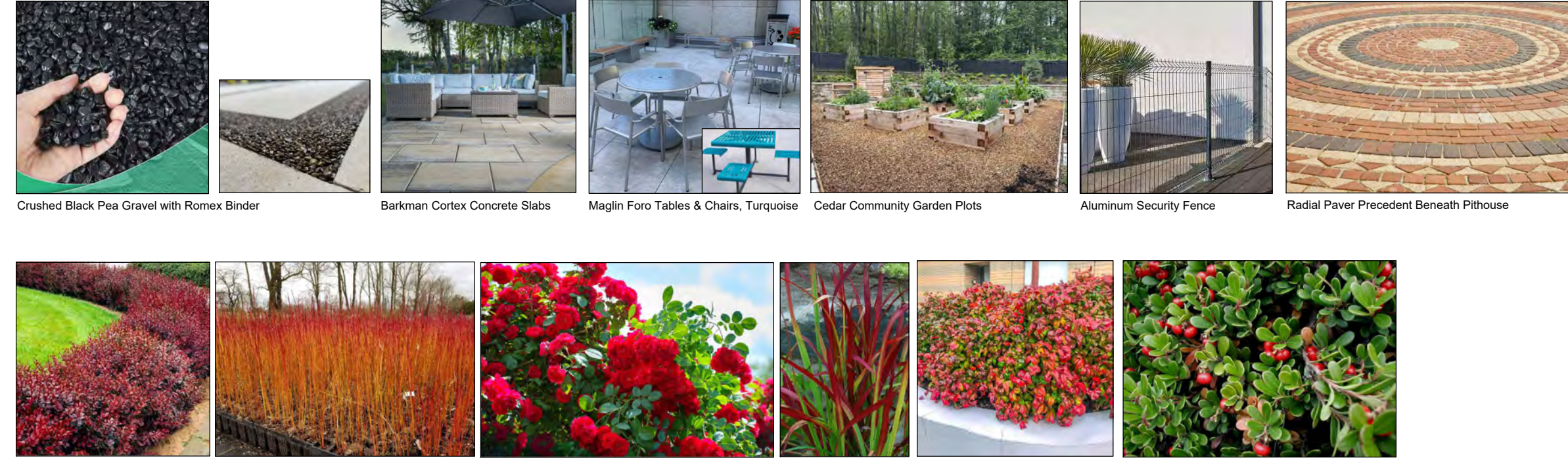
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PROJECT NAME
 Hope Supportive Housing
 CLIENT NAME
 BC Housing & Hope and Area Transition Society
 PROJECT ADDRESS
 LOT 5A, BLOCK 3
 Hope, B.C.

PROJECT NUMBER
 23-009
 STATUS
 SCALE
 1/2" = 1'-0"
 DATE
 27 JULY 2023
 SHEET DESCRIPTION
 Suite Washrooms

Landscape Materials

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
TREE	11	CORNUS EDGEE'S WHITE WONDER	EDGEE'S WHITE WONDER DOGWOOD	60CM CAL. 1M STD. FORM. BAB	
	37	EXISTING TREE TO RETAIN			
	7	PIECA GLAUCA	WHITE SPRUCE	2.5M HT. BAB	
SHRUB	7	PRINUS FLEXILIS 'VANDERHOF'S PYRAMID'	VANDERHOF'S PYRAMIDAL LEMBER PINE	30 HT. BAB	
	7	QUERCUS ROBUR 'CRIMSON SPICE'	CRIMSON SPICE OAK	60CM CAL. 1.5M STD. BAB	
	136	Berberis thunbergii 'Alsea Nana'	GOLDEN DWARF BARBERRY	#3 POT. 40CM	
PERENNIAL	277	Berberis thunbergii 'Orange Rocket'	ORANGE RED BARBERRY	#3 POT. 40CM	
	442	BUNDS MIGNONILLA 'WINTER GEM'	LITTLE LEAF BUNDS	#3 POT. 40CM	
	36	CORNUS SERICEA	RED TWIG DOGWOOD	#3 POT. 80CM	
	238	CORNUS SERICEA 'VALLEY'	DWARF RED TWIG DOGWOOD	#3 POT. 40CM	
	212	CORNUS STOLONIFERA 'ARCTIC FIRE'	REDOSIER DOGWOOD	#3 POT. 80CM	
	208	PRINUS MAGD 'NARBO'	DWARF MAGD PINE	#3 POT. 40CM	
	71	ROSA 'BARRIS'	EARLY ELEGANCE 'KASHMIR' RED ROSE	#3 POT. 80CM	
	166	SPRINGIA X BUNALDA 'GOLD FLAME'	GOLD FLAME SPIREA	#3 POT. 80CM	
	132	SYMPHORICAPOS ALBA	SNOWBERRY	#3 POT. 80CM	
	GRASS	130	IMPERATA CYLINDRICA 'RED BARRON'	BLOOD GRASS	#1 POT.
		281	HEMEROCALLIS 'RED MAGIC'	DAVILY: RED AND YELLOW	#2 POT. 2-3 FAN
		228	ARCTOSTAPHYLOS UVA-URSI	KINWICK	#1 POT. 20CM



KEY	SYMBOL	DESCRIPTION
(A)	[Asphalt symbol]	ASPHALT
(B)	[Concrete symbol]	CONCRETE UNIT PAVERS, ASHLAR PATTERN COLOUR: NATURAL
(C)	[Gravel symbol]	CRUSHED GRAVEL AGGREGATE
(D)	[Grass symbol]	HYDROSEEDED GRASS LOW GROW MIX
(E)	[Mulch symbol]	EXISTING TREE RETENTION AREA - REMOVE INVASIVES ADD BARK MULCH IN BARE AREAS
(F)	[Plant symbol]	PLANTED AREA SHRUBS, PERENNIALS AND GROUNDCOVERS
(G)	[Pavers symbol]	BARKMAN CONCRETE ROMAN PAVERS 3 COLOURS IN CUSTOM RADIAL PATTERN CHARCOAL, ANTIQUE BROWN, SIERRA GREY

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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
6	24.AUG.20	BP SUBMISSION	RK
5	24.JAN.24	REVISE PER COMMENTS	RK
4	24.JAN.08	50% SUBMISSION REVIEW	RK
3	23.NOV.10	REVISE PER NEW SITE PLAN	RK
2	22.MAY.26	REVISE PER NEW SITE PLAN	RK
1	22.APR.14	REVISE FOR REZONING SUBMISSION	RK

CLIENT:

BC HOUSING
MARTIN PYKALO ARCHITECT

PROJECT:

SUPPORTIVE HOUSING
650 OLD HOPE PRINCETON HWY
HOPE, BC

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 22.APR.05 DRAWING NUMBER: **L1**

SCALE: 1/16" = 1'-0"

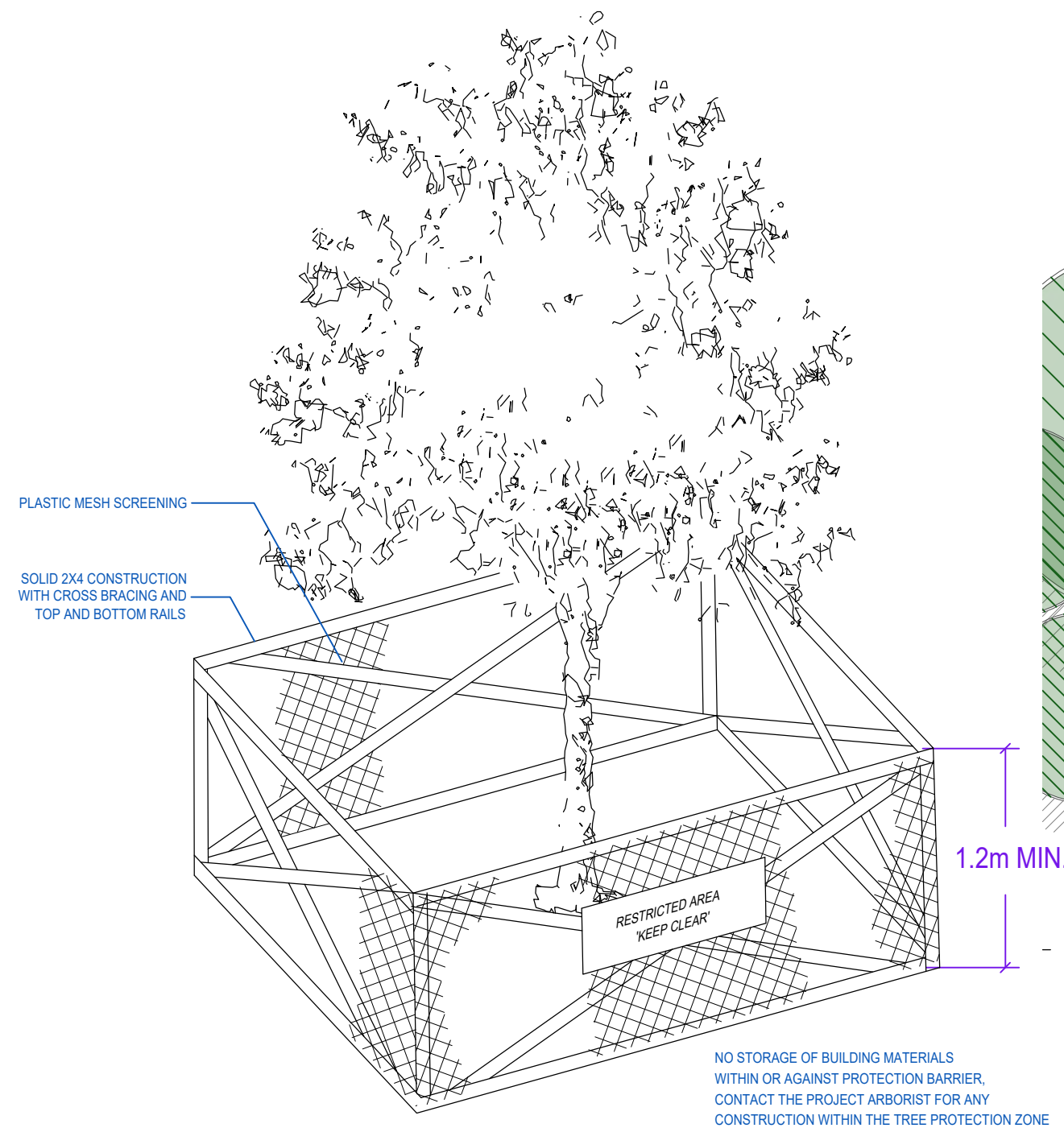
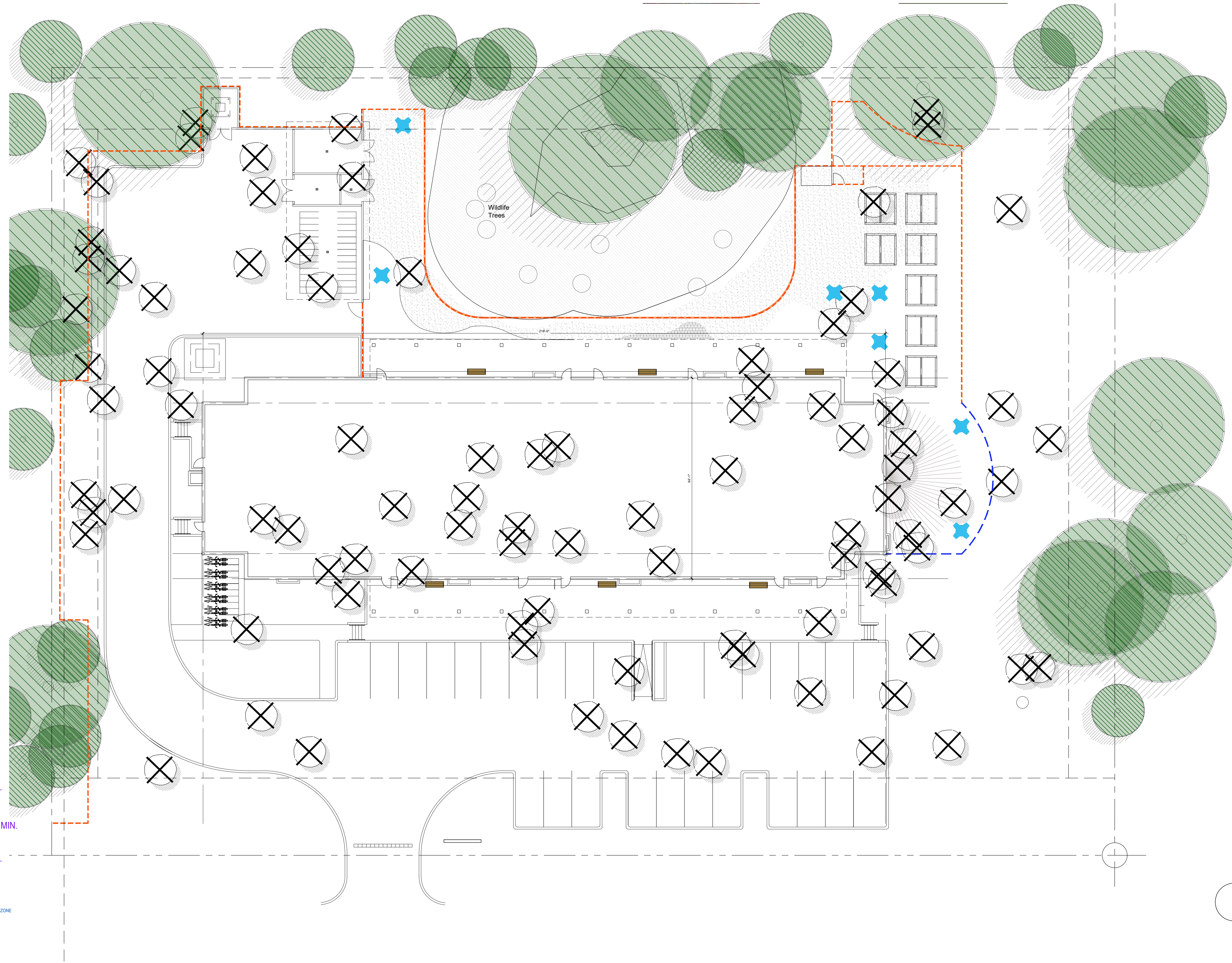
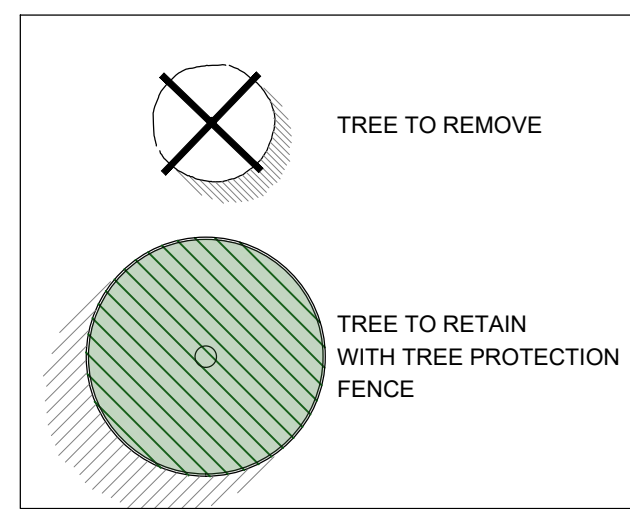
DRAWN: RK

DESIGN: RK

CHK'D: CW

PMG PROJECT NUMBER: 22-027

SEAL:



NO STORAGE OF BUILDING MATERIALS WITHIN OR AGAINST PROTECTION BARRIER. CONTACT THE PROJECT ARBORIST FOR ANY CONSTRUCTION WITHIN THE TREE PROTECTION ZONE.

T TREE PROTECTION FENCE
1/2" = 1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
6	24.AUG.20	BP SUBMISSION	RK
5	24.JAN.24	REVISE PER COMMENTS	RK
4	24.JAN.08	50% SUBMISSION REVIEW	RK
3	23.NOV.10	REVISE PER NEW SITE PLAN	RK
2	22.MAY.16	REVISE PER NEW SITE PLAN	RK
1	22.APR.14	REVISE FOR REZONING SUBMISSION	RK

CLIENT:

BC HOUSING
MARTIN PYKALO ARCHITECT

PROJECT:

SUPPORTIVE HOUSING

650 OLD HOPE PRINCETON HWY
HOPE, BC

DRAWING TITLE:

TREE PROTECTION PLAN

DATE: 22.APR.05 DRAWING NUMBER:

SCALE: 1/16" = 1'-0"

DRAWN: RK

DESIGN: RK

CHK'D: CW

L3

OF 5



REPORT/RECOMMENDATION TO COUNCIL

REPORT DATE: August 22, 2024

FILE: 1970-04

SUBMITTED BY: Mike Olson, Director of Finance

MEETING DATE: September 11, 2024

SUBJECT: Permissive Tax Exemptions for 2025 - 2029

PURPOSE:

For Council to review and provide recommendations to the permissive tax exemption application.

RECOMMENDATION:

THAT *District of Hope 2025 - 2029 Permissive Tax Exemption Bylaw No. 1585, 2024* be given first, second and third reading, this 9th day of September, 2024.

BACKGROUND INFORMATION:

The District of Hope requires a permissive tax exemption for non-profit properties which is for 2025 – 2029 as the permissive tax exemption for non-profit properties has expired.

The District received 24 applications before the July 31, 2024 deadline in accordance with the District's Permissive Tax Exemption Policy #202-05 and are attached to this report for your reference.

All of the applications received were prior to the deadline and the proposed treatment is consistent with the previous tax exemption policy.

Applications Received:

Organization	Estimated Municipal Taxes 2025	Estimated Municipal Taxes 2026	Estimated Municipal Taxes 2027
Fraser-East Affordable Housing Society	\$6,060	\$6,363	\$6,681
The Nature Trust of BC	\$1,317	\$1,383	\$1,452
The Nature Trust of BC	\$1,323	\$1,389	\$1,458
The Nature Trust of BC	\$1,840	\$1,932	\$2,029
The Nature Trust of BC	\$773	\$812	\$853
Mamele'awt Qweesome Housing Society	\$5,033	\$5,285	\$5,549
Provincial Rental Housing Corp	\$4,823	\$5,064	\$5,317
Fraser Inclusive and Supportive Housing	\$1,229	\$1,290	\$1,355
Vancouver Soaring Association	\$4,384	\$4,603	\$4,833
Hope Branch 228 Royal Canadian Legion	\$8,194	\$8,604	\$9,034
Fraternal Order of Eagles	\$2,449	\$2,571	\$2,700
Hope Community Services	\$3,209	\$3,369	\$3,537
Hope and Area Transition Society	\$4,495	\$4,720	\$4,956
Coquihalla Intercare Society	\$535	\$562	\$590
Mt. Hope Senior Citizens Housing Society	\$3,730	\$3,917	\$4,113
Kawkawa Camp Society	\$11,169	\$11,727	\$12,313
Kawkawa Camp Society	\$5,926	\$6,222	\$6,533
Hope Golf and Country Club	\$1,873	\$1,967	\$2,065
Hope Golf and Country Club	\$6,554	\$6,882	\$7,226
Hope Search & Rescue Group	\$4,808	\$5,048	\$5,300
Northwest Harvest Church	\$8,065	\$8,468	\$8,891
Grace (Fellowship) Baptist Church	\$1,088	\$1,142	\$1,199
Hope Curling Club	\$7,397	\$7,767	\$8,155
Hope and Area Transition Society	\$1,983	\$2,082	\$2,186
	\$98,257	\$103,169	\$108,325

Fraser-East Affordable Housing Society, Coquihalla Intercare Society and Mamele'awt Qweesome Housing Society have been provided with a 25% tax exemption. These applicant's usage of the property fits within the other category for the benefit of the community for non-profit organizations.

It is at the discretion of Council to exempt all, a portion of the property in question, or no exemption at all.

Prepared by:

Approved for submission to Council:

Original Signed by Mike Olson

Mike Olson, CPA, CA
Director of Finance

Original Signed by John Fortoloczky

John Fortoloczky
Chief Administrative Officer

Attachments:

- Fraser-East Affordable Housing Society - Permissive Tax Exemption application
- The Nature Trust of BC - Permissive Tax Exemption application
- The Nature Trust of BC - Permissive Tax Exemption application
- The Nature Trust of BC - Permissive Tax Exemption application
- The Nature Trust of BC - Permissive Tax Exemption application
- Mamele'awt Qweesome Housing Society - Permissive Tax Exemption application
- Provincial Rental Housing Corp - Permissive Tax Exemption application
- Fraser Inclusive and Supportive Housing - Permissive Tax Exemption application
- Vancouver Soaring Association - Permissive Tax Exemption application
- Hope Branch 228 Royal Canadian Legion - Permissive Tax Exemption application
- Fraternal Order of Eagles - Permissive Tax Exemption application
- Hope Community Services - Permissive Tax Exemption application
- Hope and Area Transition Society - Permissive Tax Exemption application
- Coquihalla Intercare Society - Permissive Tax Exemption application
- Mt. Hope Senior Citizens Housing Society - Permissive Tax Exemption application
- Kawkawa Camp Society - Permissive Tax Exemption application
- Kawkawa Camp Society - Permissive Tax Exemption application
- Hope Golf and Country Club - Permissive Tax Exemption application
- Hope Golf and Country Club - Permissive Tax Exemption application
- Hope Search & Rescue Group - Permissive Tax Exemption application
- Northwest Harvest Church - Permissive Tax Exemption application
- Grace (Fellowship) Baptist Church - Permissive Tax Exemption application
- Hope Curling Club - Permissive Tax Exemption application
- Hope and Area Transition Society - Permissive Tax Exemption application

THE DISTRICT OF HOPE BYLAW NO. 1585

A bylaw to exempt from taxation certain lands and/or improvements

WHEREAS the *Community Charter* provides for the exemption from taxation certain land, improvements or both;

AND WHEREAS it is deemed expedient to exempt from said taxation certain properties within the District of Hope.

NOW, THEREFORE, the Council of the District of Hope in open meeting assembled enacts as follows:

1. This bylaw may be cited for all purposes as the “***District of Hope 2025 - 2029 Permissive Tax Exemption Bylaw No. 1585, 2024.***”
2. The following described properties are hereby exempted from taxation for a period of five years, as per section 224 of the *Community Charter*.
 - a) Roll No. 2039-64930, Lot 2, District Lot 2, Plan EPP98803, YDYD, PID# 031-062-377, 1270 Ryder Street, owned by Fraser-East Affordable Housing Society S0077957 for the purpose of providing affordable housing, 25% exempt all property classes;
 - b) Roll No. 2040-63903 Lot 2, District Lot 11, Plan KAP2469, YDYD, PID# 011-023-597, 63903 Tom Berry Road, owned by The Nature Trust of British Columbia Inc. No. XS0009934 for the purpose of conservation of fish and wildlife habitat, 100% exempt all property classes;
 - c) Roll No. 2040-63923 Lot 1, District Lot 11, Plan KAP2469, YDYD, PID# 011-023-538, 63923 Tom Berry Road, owned by The Nature Trust of British Columbia Inc. No. XS0009934 for the purpose of conservation of fish and wildlife habitat, 100% exempt all property classes;
 - d) Roll No. 2040-64033 Lot 2, District Lot 11, Plan KAP2399, Except Plan KAP75493, YDYD, PID# 011-014-431, 64033 Tom Berry Road, owned by The Nature Trust of British Columbia Inc. No. XS0009934 for the purpose of conservation of fish and wildlife habitat, 100% exempt all property classes;
 - e) Roll No. 2040-64193 That Part of Lot 4 shown outlined red on Plan B5234 District Lot 11, Plan KAP2399, YDYD, PID# 011-014-504, 64193 Tom Berry Road, owned by The Nature Trust of British Columbia Inc. No. XS0009934 for the purpose of conservation of fish and wildlife habitat, 100% exempt all property classes;
 - f) Roll No. 2040-64995 Lot 2, Plan KAP71312, YDYD, PID# 025-423-797, 755 Old Hope Princeton Way, owned by Mamele’awt Qweesome Housing Society of British

Columbia Inc. for the purpose of providing affordable housing, 25% exempt all property classes;

- g) Roll No. 2040-65094 Lot A, Sec 10, Twp. 5, Rg. 26, W6M, Plan EPP99938, YDYG, PID# 031-049-800, 650 Old Hope Princeton Way, owned by Provincial Rental Housing Corp. and run by the Hope & Area Transition Society for the purpose of an emergency shelter, 100% exempt all property classes;
- h) Roll No. 2057-64748 Lot A, Section 9, Twp. 5 Range 26 West of the 6th Meridian, YDYG, Plan EPP127027 PID# 031-944-604, 477 Hudson Bay Street, owned by Fraser Inclusive and Supportive Housing Society for the purpose of proposed affordable social housing, 100% exempt all property classes;
- i) Roll No. 2058-62740 Lot A, Plan KAP66023, YDYG owned by the Fraser Valley Regional District and leased to the Vancouver Soaring Association for the purpose of operating a soaring and gliding club, 100% exempt all property classes;
- j) Roll No. 2067-64652 Lot A, Block 2, Sec. 9, Twp. 5, Rg. 26, W6M, Plan KAP4250, YDYG, PID# 010-564-039, # 012-872-342, # 012-872-415, # 012-872-474, 344 Fort Street used by the Hope Branch 228 Royal Canadian Legion for the purpose of charitable and philanthropic purposes, 100% exempt all property classes;
- k) Roll No. 2067-64680 Lot 2, Sec. 9, Twp. 5, Rg. 26, W6M, Plan KAP2269, YDYG, PID# 011-078-642, 386 Fort Street, used by the Fraternal Order of Eagles for the purpose of charitable and philanthropic purposes, 100% exempt all property classes;
- l) Roll No 2072-64686 Lot 3, Sec. 9, Twp. 5, Rg. 26, W6M, Plan KAP1383, YDYG, PID# 007-489-803, 434-436 Wallace Street, owned by Hope Community Services for the purpose of facilitating a free drop-in program for children and families, 100% exempt all property classes;
- m) Roll No. 2079-64632 Lot 3, Sec. 9, Twp. 5, Rg. 26, W6M, Plan KAP3771, YDYG, PID# 005-723-493, 400 Park Street, owned by Hope & Area Transition Society for the purpose of providing counselling and outreach offices for the community and surrounding area, 100% exempt all property classes;
- n) Roll No. 2079-64713 Lot 7, Block 27, Section 16, Twp 5, RG 26, Plan KAP679, YDYG, PID# 002-648-121, 541 Park Street, owned by Coquihalla Intercare Society. for the purpose of providing affordable senior housing, 25% exempt all property classes;
- o) Roll No. 2081-64725 Lots 8 & 9, Blk. 27, Sec. 16, Twp. 5, Rg. 26, W6M, Plan KAP679, YDYG, PID# 012-128-058 & # 012-128-074, 555 Park Street, owned by the Mount Hope Senior Citizens Housing Society for the purpose of providing affordable senior housing, 100% exempt all property classes;
- p) Roll No. 2120-66706 LS 8, Sec. 14, Twp. 5, Rg. 26, W6M, YDYG, Portion that part of E 1/2 lying North of Northern limit of DL 56, PID# 014-667-541, 66706 Kawkawa

Lake Road, used by Kawkawa Camp Society S-0053511 for the purpose of providing a retreat centre and summer camp for children and families; 100% exempt Class 8 (Rec-Non profit) assessment portion only;

- q) Roll No. 2120-66727 LS 5, Sec. 13, Twp. 5, Rg. 26, W6M, YDYD, PID# 014-667-550, 66727 Kawkawa Lake Road, used by Kawkawa Camp Society for the purpose of providing a retreat centre and summer camp for children and families, 100% exempt Class 8 (Rec-Non profit) assessment portion only;
- r) Roll Nos. 6051-21100 and 6051-21101 DL 1822, YDYD, PID# 002-305-577, 900 Golf Course Road, owned by the District of Hope and held by the Hope Golf and Country Club for the purpose of a public golf course, 100% exempt Class 8 (Rec-Nonprofit) assessment portion only;
- s) Roll No 6430-20476 Lot A, Sec. 9, Twp. 5, Rg. 26, W6M, Plan EPP101045, YDYD, PID# 031-071-970, 940 Fraser Avenue, owned by the District of Hope and held by the Hope Search and Rescue Group, for the purpose of a search and rescue facility, 100% exempt all property classes;
- t) Roll No. 6450-20571 Lot 6 to 10, Sec. 9, Twp. 5, Rg. 26, W6M, Plan KAP3368, YDYD, PID# 010-858-636, # 010-858-644, # 010-858-652, # 010-858-661 & # 010-858-679, 888 3rd Ave., owned by Edward Homis and leased by the Northwest Harvest Church for the purpose of religious, charitable and philanthropic purposes, 100% exempt all property classes;
- u) Roll No. 6450-20949, Lot A, Sec. 9, Twp. 5, Rge. 26, W6M, Plan EPP80026, YDYD, PID# 030-496-110, #2 - 949 3rd Ave., owned by the Grace (Fellowship) Baptist Church, leased to the non-profit Empowered Support Services Society (formerly Read Right Society), for the purpose of providing a Daycare, 100% exempt all property classes;
- v) Roll No. 6486-20610 That part of Parcel A, Sec. 10, Twp. 5, Rg. 26, W6M, Plan KAP6938, YDYD, PID# 023-744-855, 1055 6th Avenue, owned by the District of Hope and leased to the Hope Curling Club for the purpose of a public curling facility, 100% exempt all property classes;
- w) The Hope & Area Transition Society for the purpose of an emergency shelter for abused women and children. Property identification withheld due to the sensitive nature of use, 100% exempt all property classes.

Read a first, second and third time this day of September, 2024.

Notice Published in the September , 2024 and September , 2024 editions of the Hope Standard.

Adopted this day of October, 2024.

Mayor

Director of Corporate Services



REPORT/RECOMMENDATION TO COUNCIL

REPORT DATE: August 22, 2024

FILE: 1970-04

SUBMITTED BY: Mike Olson, Director of Finance

MEETING DATE: September 9, 2024

SUBJECT: Permissive Tax Exemptions for 2025 – 2034

PURPOSE:

For Council to review and provide recommendations to the permissive tax exemption application.

RECOMMENDATION:

THAT *District of Hope 2025 - 2034 Permissive Tax Exemption Bylaw No. 1586, 2024* be given first, second and third reading, this 9th day of September, 2024.

BACKGROUND INFORMATION:

Places of worship generally receive a statutory exemption for buildings set aside for public worship along with the footprint of land on which they stand. A permissive tax exemption is required in order to exempt the remainder of the property.

The District received ten applications before the July 31, 2024 deadline in accordance with the District's Permissive Tax Exemption Policy #202-05 and are attached to this report for your reference.

All of the applications received were prior to the deadline and the proposed treatment is consistent with the previous tax exemption policy.

Applications Received:

Organization	Estimated Municipal Taxes 2025	Estimated Municipal Taxes 2026	Estimated Municipal Taxes 2027
BC Corporation of Seventh-Day Adventist	\$6,248	\$6,560	\$6,888
Pentecostal Assemblies of Canada	\$2,649	\$2,781	\$2,920
Hope United Church	\$3,747	\$3,934	\$4,131
Roman Catholic Archbishop of Vancouver	\$2,667	\$2,800	\$2,940
Anglican Lord Bishop of New Westminster	\$4,578	\$4,807	\$5,047
Roman Catholic Archbishop of Vancouver	\$1,672	\$1,756	\$1,844
Grace (Fellowship) Baptist Church	\$5,223	\$5,484	\$5,758
Hope United Church	\$1,719	\$1,805	\$1,895
Hope United Church	\$1,672	\$1,756	\$1,844
Hope Congregation of Jehovah's Witness	\$2,472	\$2,596	\$2,726
	\$ 32,647	\$ 34,279	\$ 35,993

It is at the discretion of Council to exempt all, a portion of the property in question, or no exemption at all.

Prepared by:

Approved for submission to Council:

Original Signed by Mike Olson

Mike Olson, CPA, CA
Director of Finance

Original Signed by John Fortoloczky

John Fortoloczky
Chief Administrative Officer

Attachments:

- BC Corporation of Seventh-Day Adventist - Permissive Tax Exemption applications
- Pentecostal Assemblies of Canada - Permissive Tax Exemption applications
- Hope United Church - Permissive Tax Exemption applications
- Roman Catholic Archbishop of Vancouver - Permissive Tax Exemption applications
- Anglican Lord Bishop of New Westminster - Permissive Tax Exemption applications

- Roman Catholic Archbishop of Vancouver - Permissive Tax Exemption applications
- Grace (Fellowship) Baptist Church - Permissive Tax Exemption applications
- Hope United Church - Permissive Tax Exemption applications
- Hope United Church - Permissive Tax Exemption applications
- Hope Congregation of Jehovah's Witness - Permissive Tax Exemption applications

THE DISTRICT OF HOPE BYLAW NO. 1586

A bylaw to exempt from taxation certain lands and/or improvements

WHEREAS the *Community Charter* provides for the exemption from taxation certain land, improvements or both;

AND WHEREAS it is deemed expedient to exempt from said taxation certain properties within the District of Hope.

NOW, THEREFORE, the Council of the District of Hope in open meeting assembled enacts as follows:

1. This bylaw may be cited for all purposes as the “***District of Hope 2025 - 2034 Permissive Tax Exemption Bylaw No. 1586, 2024.***”
2. The following described properties which surround buildings used for public worship, which are exempt under section 220(1)(h), and the halls that are necessary to the exempt buildings and the land on which the halls stand on and an area of land surrounding the halls, are hereby exempted from taxation as per section 224(2)(f) and/or 224(2)(a) of the *Community Charter* for a period of 10 years:
 - a) Roll No. 2039-64922, Lot 8, DL 2, YDYD, Plan KAP33496, except Plan HWY PL 39120, PID# 003-167-283, 1300 Ryder Street, owned by the BC Corporation of Seventh-Day Adventist for the purpose of public worship;
 - b) Roll No. 2067-64753, Lot 28, Sec. 9, Twp. 5, Rg. 26, W6M, Plan KAP740, YDYD, PID # 012-116-998, 843 5thAve., owned by the Pentecostal Assemblies of Canada for the purpose of public worship;
 - c) Roll No. 2089-64508, Lot E, Sec. 9 & 16, Twp. 5, Rg. 26, W6M, Plan KAP5707, YDYD, PID# 010-272-836, 310 Queen Street, owned by the Hope United Church for the purpose of public worship;
 - d) Roll No. 6430-20706, only the portion defined by BC Assessment Authority as Class 8 of Lot 3 & 4, Blk. 4, Sec. 9, Twp. 5, Rg. 26, W6M, YDYD, PID# 012-794-317 & # 012-794-333, 671 Water Ave., owned by the Roman Catholic Archbishop of Vancouver for the purpose of public worship;
 - e) Roll No. 6447-20708, Lot 1 to 4, Blk. 9, Sec. 5, Twp. 5, Rg. 26, W6M, YDYD, PID# 012-799-475, # 012-799-581, # 012-799-599, # 012-799-602, 681 Fraser Ave., owned by the Anglican Lord Bishop of New Westminster for the purpose of public worship;
 - f) Roll No. 6447-20725, Lot 5, Blk. 4, Sec. 9, Twp. 5, Rg. 26, W6M, YDYD, PID# 012-794-368, 660 Fraser Ave., owned by the Roman Catholic Archbishop of Vancouver for the purpose of public worship;

- g) Roll No. 6450-20949, Lot A, Sec. 9, Twp. 5, Rg. 26, W6M, Plan EPP80026, YDYD, PID# 030-496-110, 949 3rd Ave., owned by the Grace (Fellowship) Baptist Church for the purpose of public worship;
- h) Roll No. 6450-20815, Lot 8, Blk. 7, Sec. 16, Twp. 5, Rg. 26, W6M, YDYD PID# 012-797-171, 590 3rd Ave., owned by the Hope United Church for the purpose of public worship;
- i) Roll No. 6452-20825, Lot F, Sec. 16, Twp. 5, Rg. 26, W6M, Plan KAP5707, YDYD, PID# 010-272-844, 610 Hemlock Ave., owned by the Trustees of the Hope United Church for the purpose of public worship;
- j) Roll No. 6486-20450, Lot 9, Blk. 1, Sec. 10, Twp. 5, Rg. 26, W6M, Plan KAP6071, YDYD, PID# 010-228-128, 1247 6th Ave., owned by the Hope Congregation of Jehovah’s Witness for the purpose of public worship;

Read a first, second and third time this day of September, 2024.

Notice Published in the September , 2024 and September , 2024 editions of the Hope Standard.

Adopted this day of October, 2024.

Mayor

Director of Corporate Services

1. News Release dated August 5, 2024 from the Ministry of Tourism, Arts, Culture and Sport and the Honours and Awards Secretariat re: People in British Columbia honoured for dedication to service.
2. News Release dated August 7, 2024 from the Ministry of Post-Secondary Education and Future Skills and the North Island College re: Pilot project will expand seaweed industry jobs in the north island.
3. News Release dated August 7, 2024 from the Ministry of Health re: Expanded travel programs support cancer patients.
4. News Release dated August 8, 2024 from the Ministry of Education and Child Care and Employment and Social Development Canada re: New child care centres coming for families throughout B.C.
5. Information Bulletin dated August 8, 2024 from the Ministry of Public Safety and Solicitor General re: B.C. appoints new chief coroner.
6. Information Bulletin dated August 9, 2024 from the Ministry of Attorney General re: Independent Investigations Office gets new leadership.
7. Information Bulletin dated August 12, 2024 from the Ministry of Attorney General re: Nominations open for King's Counsel designation.
8. News Release dated August 13, 2024 from the Ministry of Housing re: Rental Protection Fund safeguards 68 affordable rental homes in Victoria.
9. News Release dated August 13, 2024 from the Office of the Premier and the Ministry of Agriculture and Food re: B.C. strengthens tree-fruit sector, protects growers, workers.
10. News Release dated August 14, 2024 from the Ministry of Environment and Climate Change Strategy re: New projects underway to clean up another 1,900 km of B.C. shoreline.
11. News Release dated August 14, 2024 from the Ministry of Energy, Mines and Low Carbon Innovation and BC Hydro re: New BC Hydro projects power growth in North Shore, Sea to Sky corridor.
12. Letter dated July 30, 2024 from the Corporation of the City of Vernon re: Eliminate Fossil Fuel Funding of SILGA and UBCM.
13. News Release dated August 19, 2024 from the Ministry of Health and Fraser Health re: New long-term care beds coming to Chilliwack.
14. News Release dated August 20, 2024 from the Ministry of Emergency Management and Climate Readiness re: Public notifications and evacuation route planning will strengthen community safety.
15. Information Bulletin dated August 20, 2024 from the Ministry of Agriculture and Food and Agriculture and Agri-Food Canada re: B.C. farmers getting more support to grow food using tech.
16. News Release dated August 20, 2024 from the Ministry of Transportation and Infrastructure re: BC Transit services expand in the Fraser Valley.

17. News Release dated August 22, 2024 from the Ministry of Social Development and Poverty Reduction re: Community funding boost makes more free, healthy food available.
18. News Release dated August 22, 2024 from the Ministry of Health and BC Children's Hospital re: Centre for children with health complexity moves closer to construction.
19. News Release dated August 22, 2024 from the Ministry of Housing and the Ministry of Mental Health and Addictions re: Permanent supportive, complex-care homes open in Fraser Valley.
20. News Release dated August 22, 2024 from the Ministry of Finance re: Public accounts show B.C. put people first amid wildfires, global challenges.
21. News Release dated August 24, 2024 from the Ministry of Public Safety and Solicitor General re: New funding strengthens police work that combats online child exploitation.
22. News Release dated August 26, 2024 from the Ministry of Housing re: Annual rent increase for 2025 will be tied to inflation.
23. News Release dated August 26, 2024 from the Ministry of Education and Child Care re: More certified teachers coming to B.C. schools.
24. News Release dated August 27, 2024 from the Office of the Premier and the Ministry of Education and Child Care re: Cellphone restrictions in schools take effect as part of actions to keep kids safe, healthy.
25. News Release dated August 27, 2024 from the Office of the Premier and the Honours and Awards Secretariat re: Outstanding individuals honoured with Coronation Medal.
26. News Release dated August 28, 2024 from the Office of the Premier, the Ministry of Energy, Mines and Low Carbon Innovation and BC Hydro re: B.C. powering growth in the Fraser Valley with clean electricity.
27. Information Bulletin dated August 28, 2024 from the Ministry of Emergency Management and Climate Readiness and the Ministry of Forests re: Use caution, be fire safe this long weekend.
28. Information Bulletin dated August 28, 2024 from the Ministry of Energy, Mines and Low Carbon Innovation re: Virtual information session set for Columbia River Treaty agreement-in-principle.
29. News Release dated August 29, 2024 from the Ministry of Housing re: Building code updated to support more homes in B.C.
30. News Release dated August 29, 2024 from the Ministry of Jobs, Economic Development, and Innovation re: New manufacturing jobs coming to Fraser Valley.
31. Certified Resolution dated April 9, 2024 from the City of Port Coquitlam re: Resolution for the 2024 UBCM Convention - Gender Equity: Provisions for Menstrual Supplies.
32. Letter dated August 13, 2024 from the BC Municipal Safety Association re: District of Hope Congratulations on Receiving the 2024 Safety Improvement Award.
33. Letter dated August 22, 2024 from the City of Pitt Meadows re: Resolutions to Reform the Farm Property Tax System.
34. Letter dated August 21, 2024 from the City of Duncan re: 2024 UBCM Resolutions – Fail to Appear Charges in Policing Statistics.
35. Invitation to the 2024 Harrison/Agassiz Terry Fox Run/Walk.

36. Invitation to the Chilliwack RCMP Open House.
37. News release dated August 29, 2024 from the Ministry of Public Safety and Solicitor General re: B.C. substantially increases dangerous driving impound fees.
38. News Release dated August 29, 2024 from the Ministry of Housing and the Office of the Minister of Housing, Infrastructure and Communities re: Affordable, accessible homes for seniors open in the north.
39. News Release dated August 30, 2024 from the Ministry of Public Safety and Solicitor General and the BC Coroners Service re: At least 192 British Columbians lost to toxic drugs in July 2024.
40. Information Bulletin dated September 3, 2024 from the Ministry of Transportation and Infrastructure re: Riding, rolling, strolling toward healthier communities.
41. News Release dated September 3, 2024 from the Ministry of Post-Secondary Education and Future Skills re: B.C. taking action to prevent overdoses, make students safer on campus.
42. News Release dated September 4, 2024 from the Ministry of Housing re: Standardized designs arrive to help build more homes faster.
43. Letter dated August 26, 2024 from the City of Campbell River re: Urgent Request for Provincial Support in Addressing Homelessness in Campbell River.
44. Letter dated August 29, 2024 from the City of Mission re: Infrastructure Investment for Complete Communities.



THE CORPORATION OF THE CITY OF VERNON

3400 - 30TH STREET VERNON, BRITISH COLUMBIA V1T 5E6

TELEPHONE (250) 545-1361 FAX (250) 545-4048

File: 0360-20-27

OFFICE OF THE MAYOR

July 30, 2024

To British Columbia Municipalities

via email

Dear Mayor and Members of Council:

Re: Eliminate Fossil Fuel Funding of SILGA and UBCM

At it's Regular Meeting held on February 26, 2024, City of Vernon Council passed the following motion:

"THAT the City of Vernon request that SILGA and UBCM no longer accept funding from the fossil-fuel industry and its lobby groups at meetings and conventions;

AND FURTHER, that the City of Vernon submit the following resolution to the 2024 SILGA and UBCM conventions:

'WHEREAS burning carbon-based fuel causes climate warming with harmful socio-economic and environmental consequences; and in response Canada and B.C. have developed legislation, targets and incentive programs to rapidly decarbonize the economy; and local governments must assist in achieving these goals, and have developed Climate Action Plans and decarbonization programs to do so;

AND WHEREAS the fossil-fuel industry funds conventions and meetings of local government associations, which benefits the industry while the rising costs of delay are borne by governments and society;

THEREFORE BE IT RESOLVED THAT the Southern Interior Local Government Association (SILGA) and the Union of B.C. Municipalities (UBCM) will no longer accept funding from the fossil-fuel industry and its lobby groups in support of conventions and meetings.'

This resolution has been submitted to UBCM for consideration at the 2024 UBCM Convention. You will find background information enclosed.

Sincerely,


Victor I. Cumming
Mayor

Copy: City of Vernon Council

Enclosure

Vernon background for resolution submission to UBCM:

Throughout our province we are all living with the devastating impacts of fires and floods, which are made worse by climate change. Burning fossil fuels is the major cause of climate change. Today we are all reliant on gasoline, diesel, and natural gas. However, the transition to a low or zero-carbon future is underway, led by higher levels of government in Canada and around the world. This transition will take several years, and there will be challenges to overcome along the way. The transition will be costly, but less costly than the ongoing and worsening impacts of climate change, and it will require sustained leadership from all levels of government.

In B.C. we have a better alternative to burning fossil fuels. BC Hydro produces much cleaner renewable electricity and has plans to accommodate the additional demand that will result from broad-based electrification. The fossil fuel industry is competing against electrification. Their best efforts to become “sustainable” will not substantially reduce their greenhouse gas emissions. Their primary objective is self-preservation, rather than helping us prepare for the future. Their messaging at our conventions promotes complacency among us. This messaging is not helpful – instead we need to be acting boldly and doing more to prepare for the electrified future. The City of Vernon respectfully requests SILGA and UBCM members’ consideration of this resolution.

CERTIFIED RESOLUTION

This letter is to certify that at its' April 9, 2024, Council meeting, the City of Port Coquitlam Council adopted the following resolution:

RESOLUTION

Port Coquitlam Resolution for 2024 UBCM Convention

Gender Equity: Provisions for Menstrual Supplies

WHEREAS the 2024 British Columbia Building Code contains updated accessibility features for universal washrooms and that they must contain full-sized adult changing tables; and no new updates were made to the provincial Building Code and Occupational Health and Safety Regulations to include accessibility features for free menstrual supplies or sanitary disposal bins for those who menstruate;

AND WHEREAS equity-based policies around access to menstrual products as a health and human rights imperative will support inclusion, accessibility, mobility, reduce stigma, and promote gender equality for all people;

AND WHEREAS in December 2023, the Canada Occupational Health and Safety Regulations were revised to include free menstrual products in all federally regulated workplace restrooms;

THEREFORE, BE IT RESOLVED that the Union of British Columbia Municipalities (UBCM) call upon the Province of British Columbia to update the Occupational Health and Safety Regulations, and the British Columbia Building Code to include provisions for sanitary disposal bins, and courtesy menstrual supplies as is currently required for toilet paper in restrooms outside the home, thus supporting accessibility and gender equity for people who menstruate.

Background

* The Minister of Education for British Columbia, recognizing lack of access to menstrual supplies in schools as a barrier to education and an issue of equity in 2019 required all schools to provide free menstrual products in schools, <https://news.gov.bc.ca/releases/2019SDPR0033-000587>

* The UN and World Health Organization 2022 have positioned their official statement on menstrual health to be recognized as a health and human rights issue relating to gender equality/equity, not a hygiene issue <https://www.who.int/news/item/22-06-2022-who-statement-on-menstrual-health-and-rights>

* December 2023 the Canadian Occupational Health and Safety Regulations were revised to include free menstrual products in all federally regulated workplace restrooms. <https://www.canada.ca/en/employment-social-development/news/2023/12/menstrual-products-now-available-at-no-cost-to-employees-in-federally-regulated-workplaces.html>

* The Union of British Columbia Municipalities (UBCM) would be able to add more pressure to enact legislation by the British Columbia Government to address this specific gender equity issue. The precedent has already been set in globally, with Scotland now legally requiring free access to menstrual products <https://www.gov.scot/publications/period-products-free-provision-scotland-act-2021-equality-impact-assessment/>

* Province Adopts Changes to BC Building Code March 8/2024 with full size adult changing tables in universal washrooms. “2) A universal washroom required to have an accessible change space as stipulated in Sentence 3.8.2.8.(15) shall a) be equipped with an adult-sized change table that is.....” https://www2.gov.bc.ca/assets/gov/farming-natural-resources-and-industry/construction-industry/building-codes-and-standards/revisions-and-mo/bcbc_2024.pdf



August 13th, 2024

District of Hope
325 Wallace Street,
Hope, B.C. V0X 1L0

Attention: Mr. Mark Howard – Occupational Health and Safety Advisor

Dear Mr. Howard,

Congratulations on receiving the 2024 Safety Improvement Award.

The BC Municipal Safety Association recognizes local governments for activities that improve their experience rating, and ultimately reduce injuries, illness, disease, and fatalities with the Safety Improvement Award.

The District of Hope has demonstrated a notable example of leadership, dedication, and hard work in reducing the costs of claims by creating a safer and healthier workplace and helping injured workers recover and return to work.

Your organization should take immense pride in the receipt of this recognition and celebrate this achievement with all staff.

The award will be presented at the BCMSA/PWABC Joint conference awards dinner in Penticton on October 8th.

Yours truly,



Mike Roberts
CEO
BC Municipal Safety Association



City of Pitt Meadows
OFFICE OF THE MAYOR

August 22, 2024

File No: 01-0400-50/24

To: Members of Council attending the 2024 UBCM Convention

Re: City of Pitt Meadows Resolutions to Reform the Farm Property Tax System

On behalf of the City of Pitt Meadows' Council, our attending City Councillors and I are looking forward to the upcoming 2024 UBCM Convention with you in September.

Aligned with the [City of Pitt Meadows' Strategic Plan](#) and with this year's conference theme, "Ride the Wave, illuminating innovative approaches to persistent issues", I am writing you to raise awareness of the three resolutions we are asking for your endorsement. Please help us in calling on the Province of British Columbia to reform the farm property tax system.

The City's [Agricultural Viability Strategy](#) identifies farm property tax reform - including updates to income thresholds, changes to the school tax exemption, and targeted land tax on unfarmed land - as a key action for stimulating a productive agricultural land base.

Our aim is to protect farmland for farming and improve the viability of the agriculture sector. Our resolutions will ensure farmland across the province is not used for real estate speculation and that farm tax benefits encourage farming.

We are asking that you please endorse the following resolutions:

NR76 – School Tax Exemption

NR77 – Unfarmed Land Tax

NR92 – Minimum Income Requirements for Farm Classification

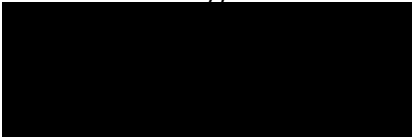
... /2

In Pitt Meadows, we are committed to a thriving and resilient agricultural sector where farmers are valued, productive lands are supported, and producers are equipped to adapt to changing social, economic and environmental conditions.

Please visit pittmeadows.ca/agriculture for more information about our resolutions and a list of those who have already endorsed them, including the Lower Mainland Local Government Association.

Thank you in advance for your support.

Yours Truly,



Nicole MacDonald
Mayor

cc: UBCM Municipalities



August 21, 2024

Councils and Boards
UBCM Member Organizations

Dear Councils and Boards:

RE: 2024 UBCM Resolution - Fail to Appear Charges in Policing Statistics

I am writing to bring to your attention a resolution that will be considered at the 2024 Union of BC Municipalities Convention, and to respectfully request your support when the resolution is presented.

As described in the attached backgrounder, Fail to Appear is a *Criminal Code* charge brought against an individual who fails to attend a scheduled court appearance. These charges do not impact police resources because they are simply an additional charge against the individual.

Despite having extremely minimal impact on police workload, these charges are counted alongside all other *Criminal Code* charges attributed to municipalities with courthouses, regardless of where the original offence occurred. Particularly in smaller jurisdictions, this practice significantly inflates the policing statistics for communities with courthouses. In the case of the City of Duncan, 80% of the Fail to Appear charges attributed to our community originated from outside of our jurisdiction, and causes a 23% increase in the City's total 2023 *Criminal Code* cases. This inflated number has a significant and corresponding impact on the requests for the number of officers, particularly when a community is transitioning past the 5,000 and 15,000 population thresholds.

The City of Duncan recognizes that the impact of the Fail to Appear charges is felt differently across BC communities. We appreciate your consideration of the disproportionate impact of including Fail to Appear charges in policing statistics for jurisdictions in which courthouses are located, and respectfully request your support for our resolution to remove these charges from policing statistics, similar to traffic related *Criminal Code* offences.

Sincerely,



Michelle Staples
Mayor

Encl. Backgrounder: Fail to Appear Charges

cc: Duncan City Council

CITY OF TOTEMS



BACKGROUND

Fail to Appear Charges

REQUEST

The City of Duncan respectfully requests delegates' support for our resolution that was endorsed at the Association of Vancouver Island and Coastal Communities Annual General Meeting and Convention requesting that the Province of British Columbia exclude Fail to Appear charges from the workload data of municipalities where courthouses are located:

WHEREAS 100% of Fail to Appear charges at provincial courthouses are assigned to the policing statistics of the municipality in which the courthouse is located, having a disproportionate impact on the policing costs assigned to small municipalities with courthouses that serve a much broader area outside their jurisdiction;

AND WHEREAS this inflates the Criminal Code case load for all municipalities with courthouses within their jurisdiction and results in an unfair burden to the taxpayers of those local governments, especially considering that Fail to Appear cases have no effect on the workload of the local detachment;

THEREFORE BE IT RESOLVED THAT UBCM urge the Province of British Columbia to direct that *Criminal Code* Section 145(2)-(5) and 732.1(2b) and 3(a) be excluded from the policing statistics of local governments with courthouses.

BACKGROUND

The City of Duncan recognizes that the impact of the Fail to Appear charges is felt differently across BC communities. BC local governments with a courthouse in their jurisdiction with populations over 5,000 will likely be aware of the impacts of these calculations on their policing costs.

Duncan is a small urban municipality (population 5,047) that serves a much larger population outside of its jurisdiction. The population surpassed 5,000 in the 2021 census, and is now required to pay 70 percent of RCMP policing costs, with the federal government paying the remaining 30 percent, in accordance with the *Policing Act*. Duncan has negotiated with the province to determine how many police officers will be included in a policing agreement, which was based on the number of Criminal Code offences within each jurisdiction's boundaries in their policing statistics as part of ensuring "adequate and effective" levels of policing and law enforcement. The Province was very inflexible with this methodology.

Through these negotiations, Duncan learned that Fail to Appear charges, a Criminal Code charge brought against an individual who fails to attend a scheduled court appearance, for the Duncan Courthouse (Provincial Court) are attributed to the City's policing statistics, regardless of where the original offence occurred. However, prior to 2022, Fail to Appear charges were simply added to the originating Criminal Code offence, as only the most serious offence was counted for statistical purposes. Now these Fail to Appear charges are added as a new charge because they were created on a different date.

The inclusion of Fail to Appear charges has inflated the policing statistics and consequently the number of officers required for not only Duncan, but likely for other jurisdictions where courthouses are located; particularly when transitioning past the 5,000 and 15,000 population levels. Furthermore, these charges do not impact police resources because they are simply an additional charge against the individual.

DISCUSSION

In the City of Duncan context, the inclusion of the Fail to Appear charges equates to two additional officers to address these charges. In 2023, the City is allocated 100% of the 325 Fail to Appear charges, whereas only approximately 65 of these cases (20%) originated from within the City of Duncan, versus 260 of these cases (80%) originated from other jurisdictions. These Criminal Code cases originating from other jurisdictions inflated the City's 2023 Criminal Code cases from 1,152 to 1,412; this was an increase of 23%. This inflated number has a significant and corresponding impact on the number of required officers.

Our secondary concern, confirmed by multiple senior RCMP officials, is that Fail to Appear cases have no effect on the workload of the local detachment; they are simply an additional charge against the individual.

If Fail to Appear charges are not excluded from the policing statistics of municipalities with courthouses, they should at least be tracked separately like Criminal Code traffic offences, so that their impacts on local policing can be appropriately considered.

KEY BENEFIT

Our hope is that delegates will recognize the disproportionate impact of including Fail to Appear charges in policing statistics for jurisdictions in which courthouses are located, particularly on small municipalities that serve a much larger population outside of their boundaries. If these charges are eliminated from the policing statistics used to calculate the number of officers, the jurisdiction in which courthouses are located could see dramatic impact on the cost of policing. By supporting this resolution, delegates can ask Province to remove Fail to Appear charges from the policing workload calculations of jurisdictions with courthouses for a fairer distribution of costs.

Contact: Mayor Michelle Staples | Phone: 250-466-9412 | Email: mayorstaples@duncan.ca

TO: District of Hope Mayor and Councillors
325 Wallace Street
Hope, BC

RE: 2024 Harrison/Agassiz Terry Fox Run/Walk

Dear Mayor and Councillors:

#Dear Terry: No Matter What

Terry's bravery, passion and commitment to cancer research has truly been an inspiration with annual runs/walks held worldwide. His bravery and determination continues to inspire millions every day.

Please accept a warm invitation for your Council to participate in the Village of Harrison Hot Springs 2024 Terry Fox Run/Walk on Sunday, September 15th. Our planning committee is hard at work and are pleased that this year's location will once again be held in the Village of Harrison Hot Springs.

Registration begins at 9:00 am at the Village Plaza with the walk commencing at 10:00 am and finishing at noon. This year's route will take participants around the Lagoon and out to the Hot Springs source, providing stunning views of Harrison Lake. Participants will be welcomed back to the Plaza with cheers and recovery snacks.

We are encouraging organizations and private businesses in your community to run/walk as a team and to challenge other registered teams in fundraising efforts.

Online registration for the event and the opportunity to donate is available on The Terry Fox Foundation website at: terryfox.org Our planning committee looks forward to your participation!

Michie Vidal



OPEN HOUSE

CHILLIWACK RCMP



WHEN IS THIS **HAPPENING?**

SATURDAY
SEPTEMBER 28, 2024

WHAT **TIME?**

10AM TO 2PM

WHERE IS THIS **HAPPENING?**

45924 AIRPORT RD
CHILLIWACK



EXPLORE THE VARIOUS RCMP UNITS AND
LEARN ABOUT COMMUNITY SAFETY



MEET YOUR LOCAL POLICE OFFICERS AND
TAKE PICTURES WITH MOUNTIES



GO ON A BEHIND-THE-SCENES TOUR OF THE RCMP
DETACHMENT

JOIN US FOR A DAY OF FUN AND COMMUNITY
ENGAGEMENT AT THE CHILLIWACK RCMP OPEN HOUSE!



CITY OF
CHILLIWACK



City of Campbell River
From the Office of the Mayor

August 26, 2024

The Honourable David Eby
Premier of the Province of British Columbia
Via email: Premier@gov.bc.ca

Dear Premier Eby,

Re: Urgent Request for Provincial Support in Addressing Homelessness in Campbell River

I am writing to you on behalf of the City of Campbell River to express our deep concern regarding the challenges our community is facing in providing adequate temporary shelter for individuals experiencing homelessness. Provincial case law establishes the obligation of local governments to provide an adequate location for overnight camping (temporary shelter) for unhoused persons. However, the sites currently available on City land are limited and do not fully meet the needs of the community or the individuals who require these services.

For a location for overnight temporary shelter to be adequate, it must be relatively close to services and supports typically accessed by individual experiencing mental health, substance use and other health conditions who are also homeless. The location of these services in Campbell River is primarily in the downtown core. The provincial decision to place these services in proximity of residential, commercial, cultural and recreational assets means the City has very limited options in terms of land availability outside of parking lots, and high value Parks and green spaces enjoyed by our residents and visitors.

Considering these challenges, we respectfully request that the Province of British Columbia take immediate action by making provincially regulated land available for temporary overnight camping in Campbell River. We understand the provincial position on use of sites such as off season use of the Quinsam campground given that the aim is to have such assets available for the recreating public and not set precedent for their use as alternative housing. However, the City would respond that these camp sites are not used during the off season and are typically closed; moreover, the City faces the very same challenge when it comes to use of our Parks and green spaces but is nonetheless forced to move forward with this under the circumstances. The availability of provincial land would greatly enhance our ability to provide safe and appropriate spaces for those in need. In that instance, the City would agree to provide all necessary services including fencing, portable washrooms, garbage bins and removal, contract security, bylaw enforcement and ongoing monitoring.

Furthermore, we ask that the province provide additional funding to expand our winter shelter program. By doing so, we can reduce the demand for temporary overnight shelter, especially during colder

months, and ensure that those without permanent housing have access to safe, warm, and secure environments. We would also like to explore funding availability to establish a Homeless Encampment Action Response Team (HEART) to better integrate the response of the City, RCMP and service providers to homelessness and complement our partnership on the HEARTH rapid housing initiative.

The City of Campbell River is committed to working collaboratively with the provincial government to address the pressing issue of homelessness in our community. We believe that with the province's support, we can make significant progress in providing the necessary resources and spaces to meet the needs of our most vulnerable residents.

We appreciate your attention to this matter and look forward to your prompt response.

Sincerely,



Kermit Dahl
Mayor



OFFICE OF THE MAYOR

FILE: 01-0410-02

August 29, 2024

The Honourable David Eby
Premier and President of Executive Council
Via Email: premier@gov.bc.ca

Dear Premier Eby:

Re: Infrastructure Investment for Complete Communities

During the City of Mission's Regular Council meeting of August 19, 2024, our Council unanimously carried the following resolution:

1. *That the City of Mission write to the Premier to express:*
 - o *Mission's continued support for the creation of affordable and supportive housing;*
 - o *The need for simultaneous provincial investment in schools, healthcare, safety and infrastructure to sustainably accommodate growth; and*
 - o *Mission's intention to review our housing bylaws after one year to ensure that sustainable growth is occurring; and*
2. *That the letter be copied to all UBCM members.*

The City of Mission acknowledges the significant need for affordable housing in our community and across the entire country. We have witnessed the dramatic increase in people living in unsafe and unstable conditions and are acutely aware of the need to accelerate housing production in the marketplace. Further, we are alert to the visible growth in unhoused persons in our midst, demonstrating the need for more supportive housing options in our community.

Because we share the Province's concerns about housing, we have been hard at work at the local level, finding ways to incentivize the development of affordable housing, accessible medical spaces and supportive housing. In the last four years, we have:

- Created a density bonusing program for builders who create below market housing and medical spaces.
- Authorized Mission's first 11-storey building because it offered 100% affordable housing, as well as community kitchen and laundry space.
- Created our *Neighbourhood Engagement Policy* to improve and expedite community engagement.
- Planned the *Stave Heights Neighbourhood* to add multi-family housing for 3800 people (with many units already under construction).
- Added to our Planning and Building Department staffing and made affordable housing applications a top priority.
- Invested in new software and technology to expedite development and building applications.
- Hosted educational Builders' Forums, in partnership with the Fraser Valley Homebuilders Association, to help builders avoid delays.
- Contributed park space to BC Housing for supportive housing and offered more public land to BC Housing and local agencies.
- Approved and implemented an innovative *Community Wellness Plan* in conjunction with every social and healthcare agency in our City.
- Hosted two housing forums to encourage partnership in developing more below-market housing.
- Dedicated approximately 100 acres (1/3) of land in our Waterfront Revitalization Strategy to multi-family housing.
- Adopted a suite of new policies to ensure affordable housing, including an amnesty program to allow registration of unauthorized secondary suites and a bylaw to protect residents of Mobile Home Parks.

We are doing all we can, with even more work in our pipeline, and it is showing in Mission's dramatic growth numbers. I am absolutely confident that other communities across BC are working with the same earnestness and creativity.

The policy and legislation changes brought forward by your government are sure to have a profound effect on our housing supply, but I hope you will agree with Mission when we say that there is much more that needs to be done to ensure that we are creating not just houses, but homes.

In consultations with our advisory committees, local organizations, and community engagement, we continuously hear a series of challenges that we believe will undermine our

shared housing efforts if not addressed. Three solutions have emerged from this work:

1. **Ensure that the Province funds investments in social and physical infrastructure to facilitate growth.** We cannot continue with the existing and long-standing practice of only adding to schools, healthcare, transit, highways, and policing once demand has reached crisis levels. The development community has expressed these same concerns. People need housing in areas where their children can access schools and medical services. Without simultaneous investments in provincial infrastructure, we will create significant inequities at the community level and will force local governments to accept further downloading.
2. **Address parking concerns in communities that have traditional downtowns that are not-yet-fully transit ready.** Across BC, there are many communities like Mission with constrained downtowns. While the obvious solution to the parking issues of these areas is enhanced transit, it must be acknowledged that working residents and parents simply cannot rely on transit as a substitute for cars at this time. While our community has invested in major transit improvements (with more on the way) we cannot anticipate that residents, workers and consumers in that neighbourhood will be able to entirely rely on transit for their daily mobility. Mission strongly supports Transit-Oriented Development. Indeed, it is fundamental to our Downtown and Waterfront Revitalization initiatives, but we have already been told to expect that multiple in-stream applications will now be altered to remove resident parking. Mission has created a parking plan for the area - grounded in a costly analysis - but the government's policy leaves no room for that evidence to come into our planning.
3. **Restore the dexterity that comes with developer-municipality partnerships in master developments.** As you have recently heard from Coquitlam and Burnaby, many master developments rely on place-making to benefit both existing residents and newcomers. Building around shared public spaces is desirable to the private and public sector, facilitating investment and financing, and allowing for a vision that the public can embrace. Density-bonusing, phased development agreements and other negotiated approaches are needed in our toolkit if we are to realize our Waterfront Revitalization. In short, true density and transit-oriented development will be hampered or halted if we are left with the tool of ACCs. As an example, the expected addition of more than 10,000 home in our master-planned Silverdale area would simply not have been possible were it not for our ability to share staffing costs, arrange for future public lands and establish mechanisms for front-ending underground servicing with Polygon. When it comes to large scale projects, we believe the Province needs to create exceptions wherein win-win negotiations are possible.

The City of Mission may not be the largest municipality in the Province, but we pride ourselves on being progressive and resourceful. We have engaged in master planning for our housing future as far back as 1966. While we support the Province's view that affordable housing must be a priority, we believe it will be much more constructive to work in a collaborative fashion, and to see concomitant development by the province of the physical and social infrastructure that defines healthy communities.

Mission has recently adopted our versions of SSMUH and TOA bylaws, and we will adopt revised DCC and ACC legislation soon. In each case, those new bylaws include a one-year review clause. We will be looking to the Provincial government to ensure that there is room for learning, revision and, most importantly, considerable investment in community-level infrastructure.

Allow me to close by saying, Mission is keen to participate in dialogue. If our City can play a role in providing feedback, data or other insights, please do not hesitate to reach us.

Sincerely,



PAUL HORN
MAYOR

- Cc. The Honourable Ravi Kahlon, Minister of Housing HOUS.minister@gov.bc.ca
The Honourable Rob Flemming, Minister of Transportation and Infrastructure Minister.MOTI@gov.bc.ca
The Honourable Pam Alexis, Minister of Agriculture and Food and MLA, Abbotsford-Mission
Pam.Alexis.MLA@leg.bc.ca
Bob D'Eith, MLA, Maple Ridge-Mission D'Eith.MLA, Bob Bob.Deith.MLA@leg.bc.ca
City of Mission Council
City of Mission Regular Council Agenda – Correspondence
UBCM Member Municipalities

DISTRICT OF HOPE
A/P Cheque Listing
August 1-31, 2024

Cheque #	Pay Date	Vendor Name	Invoice #	Description	Invoice Amount	Paid Amount
115015098701	01/08/2024	BC HYDRO	115015095701	BC Hydro re: Sign at Princeton Hwy	\$42.12	\$42.12
2024 Tx Levy	01/08/2024	BC ASSESSMENT FINANCIAL SERVICES	2024 Tax Levy	2024 Tax Levy-BC Assess/Adjs/PILT	\$139,775.08	\$139,775.08
2024Tx Lvy-MFA	01/08/2024	MUNICIPAL FINANCE AUTHORITY OF BC	2024 Tx Lvy-MFA	2024 Tax Levy - MFA	\$641.73	\$641.73
Aug/24Shaw0584	01/08/2024	SHAW CABLESYSTEMS GP	Aug/24-0584	Aug/24 Shaw-0584 internet services	\$89.60	\$89.60
Aug/24Shaw2710	01/08/2024	SHAW CABLESYSTEMS GP	Aug/24-2710	Aug/24 Shaw-2710 cable/internet	\$204.40	\$204.40
Jul/24 BC Hydro	01/08/2024	BC HYDRO	400003957168	Jul/24 BC Hydro services	\$22,577.75	\$22,577.75
Jul/24 Telus	01/08/2024	TELUS	July 2024	Jul/24 Telus land line services	\$1,869.91	\$1,869.91
Jul/24Telus.new	01/08/2024	TELUS	Jul/24 Internet	Telus internet-additional speed	\$446.50	\$446.50
PP#15/24RP0001	01/08/2024	RECEIVER GENERAL FOR CANADA	PP#15-2024	PP#15 July 8-21 2024	\$5,064.55	\$5,064.55
PP#15/24RP0002	01/08/2024	RECEIVER GENERAL FOR CANADA	PP#15-2024	PP#15 July 8-21 2024	\$45,602.53	\$45,602.53
Aug/24Parkland	08/08/2024	PARKLAND CORPORATION (108)	61790	Jul/24 Fuel for unit 009	\$323.12	\$323.12
031015	09/08/2024	AMAZON.COM.CA INC.	CA41B9MKWY3E	2 x AP9613 Relay-O Smartslot card	\$616.84	\$1,498.16
			CA41LO2UG90I	2 office chairs for Mayors office	\$881.32	
031016	09/08/2024	ANGEL Johannes J	2024 Tax Refund	2024 Refund tax overpayment-659521326	\$694.39	\$694.39
031017	09/08/2024	AWC PROCESS SOLUTIONS LTD	38249	DAF Chain/chain links L & R	\$4,947.39	\$4,947.39
031018	09/08/2024	CHILL-AIR CONDITIONING (2014) LTD.	50345	Art Gallery-air conditioner frozen/down	\$717.10	\$717.10
031019	09/08/2024	CANYON CABLE 1988 LTD.	H5074996	Pink paint	\$24.01	\$441.52
			H5077335	self tap screw x 100	\$23.52	
			H5077715	bench grinder	\$151.01	
			H5077816	autocut 46-2	\$73.01	
			H5077879	file/armorall/cutter/power saw file	\$51.84	
			H5077922	Jul 31/24 freight from Valley Traffic	\$118.13	
031020	09/08/2024	COMTEL INTEGRATED TECHNOLOGIES INC.	447317	Aug/24 Comtel phone line services	\$519.54	\$519.54
031021	09/08/2024	COLUMBIA BUSINESS SYSTEMS	IN303126	Jul/24 Copier C3835i-B&W & Color Copies	\$210.97	\$210.97
031022	09/08/2024	CUSTOM TANK SERVICES LTD.	2613	Jul 19/24 dust control	\$4,877.38	\$4,877.38
031023	09/08/2024	ERICA PUBLISHING INC.	28058	Business cards-WESTCOTT/CAMERON	\$143.36	\$524.16
			28065	wildfire prepare booklets/8 posters-lami	\$380.80	
031024	09/08/2024	EMPYRION TECHNOLOGIES INC.	197433	printing/email/signatures/set up DUO	\$2,067.19	\$6,569.47
			197435	wi-fi not working/printing/PCC computer	\$1,017.19	
			197614	Aug/24 backup/spam/anti-virus/MS Office	\$3,485.09	
031025	09/08/2024	FASTENAL CANADA LTD.	BCCHA139247	lock nut/flat washers/ HCS 1-8x3.5 P8	\$479.38	\$712.53
			BCCHA139257	M8 high collar/NYLOCK Z/hex nut	\$233.15	
031026	09/08/2024	FERRER Carolyn	Jul/24 Expense	Jul/24 mileage/meals/supplies	\$94.63	\$94.63
031027	09/08/2024	FISHER'S REGALIA	1000007975	name plates-various	\$190.64	\$190.64
031028	09/08/2024	FLEXHAUG David	Aug/24 Reimburs	chicken & ribs for staff BBQ	\$82.35	\$275.54
			Aug/24 Allowanc	2024 Allowance for Boots-FLEXHAUG D	\$193.19	
031029	09/08/2024	FVBS HOPE RONA	52808	wedge anchors	\$65.40	\$734.47
			52938	finder stud	\$35.49	
			52987	trim roller kit/extension pole/rollers	\$23.34	

**DISTRICT OF HOPE
A/P Cheque Listing
August 1-31, 2024**

Cheque #	Pay Date	Vendor Name	Invoice #	Description	Invoice Amount	Paid Amount
			53154	flour tube-cool white 24"	\$48.34	
			53192	ideal fish tape/marr connector xtp yello	\$26.89	
			53241	paint tray/rollers/hose end/brush/primer	\$203.31	
			53247	paint/stain	\$207.17	
			53281	plastic anti-slip grip/fasteners	\$22.34	
			53426	lock washer/hex nuts/carriage bolt/bolt	\$80.39	
			53452	nails	\$12.79	
			53453	galv. casing nails	\$0.54	
			53478	carriage bolts	\$8.47	
031030	09/08/2024	FVBS HOPE RONA	53492	clamp set/urethane GLS/paint/hemlock	\$84.14	\$175.71
			53493	pine ply/ 1 x 2	\$50.85	
			53507	4 x spray bottles	\$19.31	
			53517	wallplate	\$2.60	
			53527	magnetic double catch/finish nail	\$12.27	
			53530	nail wire	\$6.54	
031031	09/08/2024	GLASSON Steve	Jul/24 repair	safety vest repair	\$15.00	\$15.00
031032	09/08/2024	HICK David	Aug/24 Reimburs	Jul 28-Aug 1/24 fuel-wildfire deploy	\$279.10	\$279.10
031033	09/08/2024	HOPE READY MIX LIMITED	101898	93.60 MT 3/4" road mulch	\$1,926.32	\$2,076.34
			710935	3 yds pro soil turf blend	\$150.02	
031034	09/08/2024	KROPPSHOP LTD	24524	6 x "Bear Country" signs	\$540.96	\$892.37
			24523	4 x "Flood Watch" signs	\$351.41	
031035	09/08/2024	HOPE TOWING LTD.	58513	Tow - Tom Berry to Yard F550 flatdeck	\$156.69	\$763.07
			684676	Aug/24 unheated museum storage	\$606.38	
031036	09/08/2024	KAL TIRE	067187306	credit for 2 radial casings	-\$44.80	\$426.70
			033202374	field service-urgent/service truck	\$431.18	
			067187878	light truck tire repair	\$40.32	
031037	09/08/2024	LAVERTY Anne-Marie	2024 Tax Refund	Refund tax overpayment 637420014	\$70.81	\$70.81
031038	09/08/2024	LORDCO AUTO PARTS	7I00032669	Refrigerant/tubes/exhaust fluid/oil filt	\$1,268.64	\$1,466.65
			7CR002851	return sensor knock	-\$29.57	
			7I00032710	windshield washer fluid	\$129.27	
			7I00032723	tension washer	\$5.22	
			7I00032979	oil filter	\$12.06	
			7I00033089	2 cavity shroud weather PK OEM	\$15.08	
			7I00033091	2 cavity tower weather PK OEM	\$26.82	
			7I00033173	multi-driver	\$39.13	
031039	09/08/2024	MAGNUSON FORD	141950	indicator assy	\$98.72	\$217.66
			142086	cap asy-radiator x 2 (RS 345&533)	\$37.24	
			142142	clamp	\$63.93	
			140996-R1	gasket return	-\$20.77	

DISTRICT OF HOPE
A/P Cheque Listing
August 1-31, 2024

Cheque #	Pay Date	Vendor Name	Invoice #	Description	Invoice Amount	Paid Amount
			134167-R1	credit re: spacer-pinion bear/seal	-\$161.12	
			135678-R1	credit re: core refund	-\$504.00	
			143072	insulator-rear spr. x 4	\$188.61	
			143077	gasket	\$14.45	
			143125	gaskets/studs/spring nuts	\$215.75	
			143426	spring/pelvis pin/tube/lever/plunger	\$284.85	
031040	09/08/2024	MICHELIN NORTH AMERICA (CANADA) IN	DA0010122047	225/70R19.5 XDS 2 LRG 3PMSF	\$547.90	\$547.90
031041	09/08/2024	PALMER Michael J C	2024 Tax Refund	Refund Tax Overpayment 262 Water Ave	\$2,689.96	\$2,689.96
031042	09/08/2024	COASTAL MOUNTAIN FUELS	277167	Aug 1/24 1358.6L Regular Gasoline	\$2,319.68	\$5,156.31
			277168	Aug 1/24 1705.2L Diesel Clear	\$2,836.63	
031043	09/08/2024	PONTI Bert Larry	2024 Tax Refund	Refund tax overpayment 650 6th Ave	\$3,071.56	\$3,071.56
031044	09/08/2024	PRAETORIAN SECURITY INC.	0000023724	service call -Tom Berry Rd-Sewage plnt	\$212.89	\$212.89
031045	09/08/2024	DECKER Diana	153577	Jul/24 overages-Kennel contract services	\$1,953.00	\$1,953.00
031046	09/08/2024	SOUTHERN IRRIGATION LP	S-INV0657076	walchem injection valve 3/8"	\$552.69	\$552.69
031047	09/08/2024	STAPLES PROFESSIONAL	67066202	sharpie markers/paper	\$171.35	\$171.35
031048	09/08/2024	VALLEY WASTE & RECYCLING INC	0000443233	Jul 1-25/24 K/Lake restroom service	\$194.25	\$194.25
031049	09/08/2024	VALLEY WATER	12174614	Aug/24 monthly hot/cold cooler rent	\$13.44	\$31.44
			12173732	purified water 2 x 18.9L (Jul 3 & 31/24)	\$18.00	
031050	09/08/2024	VERTEC TRANSPORT LTD	0000009138	Jul 24/24 commercial Hy-Vac-various loc	\$1,437.19	\$1,437.19
031051	09/08/2024	VIMAR EQUIPMENT LTD.	P23509	sandwich mount - Elgin	\$170.58	\$170.58
031052	09/08/2024	UNIVERSAL TRAFFIC (258) LTD	361500	parking symbol/concrete base/custom sign	\$1,639.27	\$1,639.27
031053	09/08/2024	XEROX CANADA LTD.	F62631226	Jul/24 Copier c7130-B&W & Color copies	\$42.35	\$269.74
			F62662217	Jul/24 Copier c7130-B&W & Color copies	\$34.45	
			F62678881	Jul/24 Copier c8155-B&W & Color copies	\$192.94	
Jul/24 FortisBC	09/08/2024	FORTIS BC-NATURAL GAS	July 2024	Jul/24 Fortis BC services	\$559.24	\$559.24
Jul/24 MC0863	14/08/2024	MASTERCARD - COLLABRIA	July 2024	Jul/24 Mastercard payment	\$10,943.15	\$10,943.15
PP#16/24MPP251	14/08/2024	MUNICIPAL PENSION PLAN	PP#16-2024-251	PP#16/24 July 22-August 4 2024	\$23,974.51	\$23,974.51
PP#16/24MPP502	14/08/2024	MUNICIPAL PENSION PLAN	PP#16-2024-5025	PP#16/24 July 22-August 4 2024	\$6,914.11	\$6,914.11
PP#16/24RP0001	14/08/2024	RECEIVER GENERAL FOR CANADA	PP#16-2024	PP#16/24 July 22-August 4 2024	\$5,169.21	\$5,169.21
PP#16/24RP0002	14/08/2024	RECEIVER GENERAL FOR CANADA	PP#16-2024	PP#16/24 July 22-August 4 2024	\$48,383.08	\$48,383.08
031054	15/08/2024	ASSOCIATED ENGINEERING (B.C.) LTD.	295928	BC Hydro EEFS-Load displace Study	\$15,918.45	\$15,918.45
031055	15/08/2024	ANSER POWER SYSTEMS	18513	emergency call out ATS failed	\$4,775.40	\$4,775.40
031056	15/08/2024	AWC PROCESS SOLUTIONS LTD	38253	brush strip/skimmers brush assy/labour	\$3,183.12	\$3,219.87
			38254	shipping associate w/inv#38253	\$36.75	
031057	15/08/2024	BC ONE CALL LTD.	20240330	Apr-Jun/24 BC One Call-113 tickets	\$314.42	\$314.42
031058	15/08/2024	BLACK PRESS GROUP LTD.	BPI179854	Jul/24 Black Press advertising services	\$1,009.94	\$1,009.94
031059	15/08/2024	CANYON CABLE 1988 LTD.	H5078014	Aug 1/24 freight from Metal Supermarket	\$39.38	\$272.72
			H5078130	Aug 2/24 freight from Valley Traffic	\$60.38	
			H5078496	starinless bolts	\$17.70	

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			H5078497	WR comb./SKT DP 6pt	\$36.37	
			H5078581	Aug 8/24 freight from Valley Traffic	\$39.38	
			H5078731	anti vibration gloves	\$25.18	
			H5078732	trimmer repair-oil leak	\$54.33	
031060	15/08/2024	CUPE LOCAL #458	PP#16-2024	PP#16/24 July 22-August 4 2024	\$1,951.03	\$1,951.03
031061	15/08/2024	DEKRA-LITE	DLIO2022563	6xwindbreaker banner brackets	\$1,197.42	\$1,197.42
031062	15/08/2024	DRISCOLL PLUMBING & HEATING	2272	replace 4 taps & drains-Coq.campgrnd	\$1,680.00	\$1,680.00
031063	15/08/2024	EBBWATER CONSULTING INC	761	Jul/24 Fraser-Coq.rivers flood area	\$2,936.33	\$2,936.33
031064	15/08/2024	EXCEED ELECTRICAL ENGINEERING LTD	10900-0019	Jul/24 serv.-General assistance	\$1,835.04	\$1,835.04
031065	15/08/2024	FRASER INCLUSIVE AND SUPPORTIVE	PP#16-2024	PP#16/24 July 22-August 4 2024	\$104.00	\$104.00
031066	15/08/2024	FINNING CANADA	950057232	Tip-penetrat/Pin-flex	\$210.01	\$210.01
031067	15/08/2024	HIGH VOLTAGE WELDING INC.	10578	fabricate/install-guardrails-reserv.tank	\$3,246.18	\$4,574.73
			10579	fabricate 2 Bollards w/embed mounts	\$1,328.55	
031068	15/08/2024	HARBOUR INTERNATIONAL TRUCKS	632168	no crank/fire-repair wiring/connections	\$1,251.23	\$1,251.23
031069	15/08/2024	HOPE TOWING LTD.	58245-KEVIN	Tow 5Ton unit 222 to Langley for repair	\$1,100.13	\$1,100.13
031070	15/08/2024	KHRONOS SECURITY SERVICES	2979	repair facility breach/patrol/security	\$1,092.14	\$6,143.98
			2984	alarm response-22533 Ross Road	\$113.40	
			3003	Aug/24 commercial patrol services	\$1,366.34	
			3004	Aug/24 restroom lockup-Skate Park	\$1,757.70	
			3005	Aug/24 restroom lock-K/Lake/M.Park	\$1,757.70	
			3028	Aug 2/24 alarm-wastewater plant	\$56.70	
031071	15/08/2024	L. B. J. SERVICES LTD	2364	Jul/24 Janitorial contract services	\$4,977.00	\$4,977.00
031072	15/08/2024	LORDCO AUTO PARTS	7100033361	brake parts cleaner/gasket sealant	\$23.71	\$389.99
			7100033401	gloss black/leaf green/log books/tape	\$188.99	
			7100033409	10 x log books	\$131.23	
			7100033426	black tough rubber coating	\$46.06	
031073	15/08/2024	METAL SUPERMARKETS LANGLEY	1389757	hot rolled flat bar	\$37.98	\$467.25
			1389868	hot rolled flat bar	\$37.98	
			1390338	galvanized pipe/hot rolled flat bar/tube	\$391.29	
031074	15/08/2024	MT. HOPE ELECTRIC	3030	boat launch lift station-cabinet/switch	\$8,081.89	\$8,081.89
031075	15/08/2024	LIDSTONE & COMPANY	55547	Jul/24 service re: file#10111-050	\$292.89	\$5,919.78
			55548	Jul/24 service re: file#10111-112	\$248.64	
			55549	Jul/24 service re: file#10111-113	\$36.96	
			55550	Jul/24 service re: file#10111-114	\$424.47	
			55551	Jul/24 service re: file#10111-117	\$4,220.16	
			55552	Jul/24 service re: file#10111-118	\$398.17	
			55553	Jul/24 service re: file#10111-119	\$298.49	
031076	15/08/2024	SPERLING HANSEN ASSOCIATES	24282	Apr/24 landfill monitoring	\$8,980.69	\$8,980.69
031077	15/08/2024	PEOPLESAFE PERSONAL SAFETY LTD	11371070824	Aug/24 20 worker subscription	\$112.00	\$112.00

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031078	15/08/2024	ULINE CANADA CORPORATION	14570668	trash liners/toilet tissue/fire extingu	\$3,067.03	\$4,942.37	
			14598009	trash liners/gloves/shop towels	\$1,744.30		
			14598010	12 x 3.6L bleach	\$131.04		
031079	15/08/2024	VALLEY WASTE & RECYCLING INC	0000001471	Jul/24 Transfer station services	\$1,217.26	\$2,699.86	
			0000019387	Jul 17 18 & 31/24 creosote disposal	\$852.60		
			0000445797	Jul 8-Aug 2/24 restroom serv.919 Water	\$210.00		
			0000445972	Jul 15-Aug 6/24 restroom serv.919 Water	\$420.00		
031080	15/08/2024	UNIVERSAL TRAFFIC (258) LTD	361385	4 custom signs-aluminum-leash dog	\$98.20	\$223.73	
			361901	safety store arm & leg bands-FL green	\$125.53		
031081	15/08/2024	WURTH CANADA LIMITED	25985383	shrink tube/pin/DT 16 socket/push-cnt	\$596.98	\$596.98	
031082	15/08/2024	WESTVAC INDUSTRIAL INC	W11678	lift mobile colum-annual inspection	\$691.61	\$691.61	
031083	15/08/2024	WESTERN WATER ASSOCIATES LTD.	24-063-01VR-03	Jul/24 prepare/submit final GARP ass'mnt	\$2,780.86	\$2,780.86	
031084	15/08/2024	WESTERN EQUIPMENT LTD.	CWK-03178786	contracotr harness/web sling x 2	\$190.67	\$190.67	
031085	21/08/2024	AMAZON.COM.CA INC.	CA4LMNLF5TI	2 x 12pk - 20 gallon tree watering bags	\$622.60	\$1,204.32	
			CA4118JVUACCU	deep water float-2pk	\$184.86		
			CA41Q8157ACCL	dry erase marker/sharpie markers	\$17.88		
			CA429BWMLOI	spill containment pallet w/drain	\$173.09		
			CA41XZ1B7ACCL	laminator with pouch starter kit	\$205.89		
			38256	injection quill gasket x 6	\$1,140.85		
031086	21/08/2024	AWC PROCESS SOLUTIONS LTD	38256	injection quill gasket x 6	\$1,140.85	\$1,140.85	
031087	21/08/2024	BA BLACKTOP	68002498	3.10 MMCD UC2 - upper course 2	\$458.30	\$458.30	
031088	21/08/2024	B.C. MUNICIPAL SAFETY ASSOCIATION	196502	TCP Requalification training	\$1,260.00	\$1,260.00	
031089	21/08/2024	BELL MOBILITY INC.	August 2024	Aug/24 Bell mobility services	\$3,000.87	\$3,000.87	
031090	21/08/2024	CANYON AUTOMOTIVE LTD.	52626	inspect/test drive train/oil change/filt	\$1,607.25	\$1,607.25	
031091	21/08/2024	CANYON CABLE 1988 LTD.	H5072401DUP	Duplicate charge-CR inv5079208 corrects	\$33.88	\$752.14	
			H5078582	Aug 8/24 freight from Metal Supermarket	\$118.13		
			H5078809	10lb / body up indicator kit	\$150.15		
			H5078810	adaptr/screw	\$24.06		
			H5078812	moving head	\$47.39		
			H5078813	grafitti remover/yellow caut.	\$47.06		
			H5078828	4pc pry bar set	\$98.55		
			H5078860	Aug 12/24 freight from Vimar to Hope	\$39.38		
			H5078888	60" crow bar	\$76.65		
			H5078989	6xmesh safety vests/O.R safety vest GR	\$110.70		
			H5079208	credit re:duplicate bill for sunscreen	-\$33.88		
			H5079099	2pk P100 filters	\$40.07		
031092	21/08/2024	ECOWISE TREE CARE	0005606	847 7th Ave-2 stumps/hazard tree alley	\$1,785.00		\$1,785.00
031093	21/08/2024	EMCO CORPORATION	805243002892	petrowrap LT tape	\$167.36		\$167.36
031094	21/08/2024	ERICA PUBLISHING INC.	28045	2 coroplast sign - Noise	\$33.60	\$288.96	
			28087	1 15" clock for Chambers	\$255.36		

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031095	21/08/2024	EMPYRION TECHNOLOGIES INC.	197799	remove user/profuel issue/printing issue	\$846.56	\$846.56
031096	21/08/2024	EXCEED ELECTRICAL ENGINEERING LTD	10906-0005	2024 SCADA upgrades	\$6,555.52	\$6,555.52
031097	21/08/2024	FLYNN Caleigh	Aug/24 Reimburs	Wildfire Deploy fuel for unit 009	\$431.83	\$431.83
031098	21/08/2024	FRONTERA FOREST SOLUTIONS INC	2070	Jul 13/24 CWRP 2024 RPF/Office/GIS	\$6,206.81	\$6,206.81
031099	21/08/2024	KELLTON CONTRACTING LTD.	2024-068	install new dividers/counters-restrooms	\$4,678.74	\$5,178.74
			844/24	BP#844/24 Municipal Deposit Refund	\$500.00	
031100	21/08/2024	FVBS HOPE RONA	53499	outdoor extension cord	\$53.41	\$844.70
			53672	tremclad rust paint aerosol	\$12.98	
			53347	craftsman tape measure/aerosol paint	\$40.74	
			53016	Barb hose end	\$21.14	
			53425	zinc screws/lepage O/D wood glue 400ml	\$225.92	
			53645	swan garden hose	\$26.60	
			53727	paint tray liners/brushes/rollers/paint	\$217.66	
			53728	I-Beam level/stringline/tape measure	\$101.57	
			53742	Quikrite/5 gallon bucket	\$30.17	
			53788	Quikrete 55lb bag	\$12.30	
			53798	aluminum step stool (2step)	\$77.60	
			53800	angle brush/sandpaper	\$24.61	
031101	21/08/2024	GARAVENTA (CANADA) LTD.	1767417-0	2024/2025 preventative maintenance	\$1,475.00	\$1,475.00
031102	21/08/2024	GORDON Darryl	Jul/24 expense	Jul 26-28/24 wildfire deploy-per diem	\$184.12	\$4,448.12
			Payroll advance	Pay Advance BC wildfire-GORDON D	\$4,264.00	
031103	21/08/2024	HICK David	Jul/24 Expense	Jul 26/28/24 wildfire deploy-per diem	\$184.12	\$184.12
031104	21/08/2024	KROPPSHOP LTD	24560	12 x full color "FLOOD WARNING" (2 sizes)	\$2,049.27	\$2,049.27
031105	21/08/2024	KAL TIRE	067188254	light truck tire repair	\$67.99	\$67.99
031106	21/08/2024	LEECH Troy	Payroll advance	Pay Advance BC wildfire-LEECH T	\$2,080.00	\$2,187.75
			Aug/24 Reimburs	Aug 8/24 fuel reimburse-wildfire deploy	\$107.75	
031107	21/08/2024	LOTHIAN Nolan	Jul/24 expense	July 26-28/24 wildfire deploy-fuel/meals	\$673.94	\$673.94
031108	21/08/2024	LORDCO AUTO PARTS	7100032782	1" FNPT / bushing/ 1-1/2 FNPT & Male	\$63.42	\$742.55
			7100033568	Gloss Yellow/Gloss Classi	\$232.63	
			7100033630	dead blow hammer/chisels/hand guard	\$189.69	
			7100033809	CYL BRK MAS part#ACD18M2426	\$246.94	
			7100033826	Master Cyl. bleeder kit	\$9.87	
031109	21/08/2024	MINISTER OF FINANCE	Judge BNE71174	Registrar.of Judgement-63883 Tom Berry	\$60.00	\$60.00
031110	21/08/2024	MINISTER OF FINANCE	Judge BNE71234	Registrar.of Judgement-63883 Tom Berry	\$60.00	\$60.00
031111	21/08/2024	MINISTER OF FINANCE	95503397	Jul/24 purolator shipments	\$170.32	\$170.32
031112	21/08/2024	OLSON Michael	Aug/24 Expense	Aug 11-13/24 mileage/meals-OLSON M	\$317.20	\$317.20
031113	21/08/2024	COASTAL MOUNTAIN FUELS	281888	Aug 15/24 1615.9L Regular Gasoline	\$2,616.47	\$7,003.99
			281889	Aug 15/24 2642.5L Diesle Clear	\$4,387.52	
031114	21/08/2024	PHOENIX BENEFITS SOLUTIONS INC.	1112024	VFIS accident insurance	\$5,315.00	\$5,315.00

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031115	21/08/2024	PRUVOST Manon	Payroll advance	Pay Advance BC wildfire-PRUVOST M	\$4,004.00	\$4,004.00
031116	21/08/2024	RESCOM CONSTRUCTION LTD.	848/24	BP#848/24 Municipal Deposit Refund	\$500.00	\$500.00
031117	21/08/2024	ROCKY MOUNTAIN PHOENIX	IN0146653	bail handle 2.5"	\$90.72	\$90.72
031118	21/08/2024	ROBYN M CROSS	106468	service callout-foam system not working	\$1,262.58	\$1,262.58
031119	21/08/2024	SPERLING HANSEN ASSOCIATES	24468	Jul/24 landfill monitoring	\$4,305.37	\$4,305.37
031120	21/08/2024	SPATIAL TECHNOLOGIES (2017) INC.	218044	CS20 basic cpp/GS18 basic-software maint	\$1,153.60	\$1,153.60
031121	21/08/2024	STAPLES PROFESSIONAL	67260576	paper/letter opener/keyboard/mouse	\$256.41	\$289.98
			67266183	one touch staple	\$33.57	
031122	21/08/2024	SEAL TEC INDUSTRIES LTD.	12211	crack sealing-10.210 lineal meters	\$20,261.75	\$64,740.35
			12228	Crack Sealing-22.413 Lineal Meters	\$44,478.60	
031123	21/08/2024	THE GEO. H. HEWITT CO. LIMITED	2403398	Jan/25 -400 Red Alum.pet tags	\$296.92	\$296.92
031124	21/08/2024	ULINE CANADA CORPORATION	14649769	uline aloe hand soap x 12	\$341.78	\$341.78
031125	21/08/2024	VALLEY WASTE & RECYCLING INC	0000446701	Jul/24 Valley Waste Contract services	\$169,511.09	\$169,850.24
			0000445869	Aug 6/24 1225 Nelson-comm.roll off	\$339.15	
031126	21/08/2024	ALUMICHEM CANADA INC	INV24328	Wes-Floc 3261 A - 204kg drum	\$3,941.28	\$3,941.28
031127	21/08/2024	WURTH CANADA LIMITED	25997754	composit PTC swivel tee	\$39.54	\$39.54
031128	21/08/2024	WESTERN EQUIPMENT LTD.	CWK-03180722	Chain assy-inspect/repair/test	\$768.95	\$870.18
			CWK-03180728	JET522436/telescoping bushing	\$101.23	
031129	21/08/2024	WHOLESALE FIRE & RESCUE LTD.	INV/2024/3655	pony hose forestry/wildland-38mm	\$183.69	\$183.69
Aug/24Shaw0613	21/08/2024	SHAW CABLESYSTEMS GP	Aug/24-0613	Aug/24 Shaw-0613 internet/cable serv.	\$160.72	\$160.72
Aug/24Shaw0663	21/08/2024	SHAW CABLESYSTEMS GP	Aug/24-0663	Aug/24 Shaw-0663 internet/cable serv.	\$233.52	\$233.52
PP#17/24MPP251	23/08/2024	MUNICIPAL PENSION PLAN	PP#17-2024-251	PP#17 August 5-18 2024	\$23,731.98	\$23,731.98
PP#17/24MPP502	23/08/2024	MUNICIPAL PENSION PLAN	PP#17-2024-5025	PP#17 August 5-18 2024	\$5,541.23	\$5,541.23
031130	29/08/2024	AMAZON.COM.CA INC.	CA411I0KKACCU	reverse cr.as per email from amazon	\$5.13	\$5.13
031131	29/08/2024	BC TRANSIT	353294	Jul/24 UMO sales	\$95.00	\$95.00
031132	29/08/2024	B.C. MUNICIPAL SAFETY ASSOCIATION	196507	TCP Certification (2 day training)	\$2,546.25	\$2,546.25
031133	29/08/2024	CANYON CABLE 1988 LTD.	H5079251	orig. 1L pump spray	\$62.63	\$716.78
			H5079292	power saw chain	\$20.10	
			H5079247	HD cutter/shop towels/Nitrile gloves	\$48.67	
			H5079437	HUS Glasses - sport	\$15.61	
			H5079376	Aug 16/24 freight from Hope to ALS	\$39.38	
			H5079457	line-trimmer/power saw chain	\$28.17	
			H5079665	Aug 20/24 freight from Hope to ALS	\$39.38	
			H5079694	hose mender/pumice lotion 443ml	\$18.59	
			H5079813	Aug 21/24 freight from Valley Traffic	\$118.13	
			H5079878	GR 8 Yellow	\$71.43	
			H5079953	1 1/2" master locks (12)	\$254.69	
031134	29/08/2024	CHEM INTERNATIONAL	115191	bug on a rope-enzymatic lift stn grease	\$729.75	\$729.75
031135	29/08/2024	COGHILL Renee	Firesmrt Rebate	Case#HFS824031-Firesmart Rebate	\$210.50	\$210.50

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031136	29/08/2024	CUPE LOCAL #458	PP#17-2024	PP#17 August 5-18 2024	\$1,889.43	\$1,889.43
031137	29/08/2024	EMPYRION TECHNOLOGIES INC.	196334	phone issues/network/vpn/connection	\$1,870.31	\$1,870.31
031138	29/08/2024	F.A.S.T. FIRST AID & SURVIVAL TECH.LTD	087441	hygiene/comfort kits/reception kit#1	\$20,113.81	\$20,113.81
031139	29/08/2024	FORTOLOCZKY John	Sept/24 Phone	Sept/24 use of personal phone-CAO	\$56.00	\$56.00
031140	29/08/2024	FRASER INCLUSIVE AND SUPPORTIVE	PP#17-2024	PP#17 August 5-18 2024	\$84.00	\$84.00
031141	29/08/2024	FVBS HOPE RONA	53803	flat washers (50pc bulk)	\$30.63	\$382.23
			53810	stakes 1x2 - 48 spr. 25pcs	\$42.56	
			53819	flagging tape/teflon tape for gas-yellow	\$17.41	
			53885	impact bit	\$7.35	
			53922	hose clamp/Barb hose end/clamp	\$42.37	
			53931	poly hose w/shut off/swivel plate caster	\$51.94	
			53934	plastic anchor/blank key	\$6.12	
			53981	tremclad primer/tremclad paint-aerosol	\$41.63	
			53971	Quickrete post haste 55lb bag	\$24.60	
			53975	washers/carriage bolts/hex nuts	\$18.68	
			54027	lumber/screws/20V hand vacuum	\$74.34	
			54031	Quikrete post haste 55lb bag x 2	\$24.60	
031142	29/08/2024	FRASER VALLEY REGIONAL DISTRICT	9977	MFA issue 112/bylaw 1288-princ.& interes	\$129,485.17	\$129,485.17
031143	29/08/2024	D. GARTNER CONTRACTING LTD.	818/24	BP#818/24 Municipal Deposit Refund	\$500.00	\$500.00
031144	29/08/2024	GRACIAS Gavin	Firesmrt Rebate	Case#HFS824032 Firesmart rebate	\$500.00	\$500.00
031145	29/08/2024	HADD Michael	2024 Tax Refund	Refund tax overpay 669 3rd Ave	\$246.44	\$246.44
031146	29/08/2024	KROPPSHOP LTD	24605	Signs (Asphalt Concrete rock & dirt)	\$273.85	\$273.85
031147	29/08/2024	KEARNS Gordon Kevin	2024 Tax Refund	Refund Tax Overpay-23735 American Cr.	\$570.00	\$570.00
031148	29/08/2024	KERKHOFF Casey/Jane	824/24	BP#824/24 Municipal Deposit Refund	\$500.00	\$500.00
031149	29/08/2024	KHRONOS SECURITY SERVICES	3040	board up 585 6th - 2 workers & supplies	\$411.50	\$411.50
031150	29/08/2024	Koopman Kathy	Firesmart Rebat	Case#HFS824035 Approved Firesmart Rebat	\$498.75	\$498.75
031151	29/08/2024	LACAS CONSULTANTS INC.	3067	Jul-Aug/24 Lower Coq./Hospital/glenhalla	\$12,936.17	\$12,936.17
031152	29/08/2024	LANGE Martin	2024 Tax Refund	2024-Refund Tax Overpay-46-20118 Beacon	\$570.00	\$570.00
031153	29/08/2024	LORDCO AUTO PARTS	7100034154	Oxygen sensor	\$71.45	\$543.63
			7100034180	fuel injection throttle body	\$284.29	
			7100034190	diesel exhaust fluid x 2	\$44.33	
			7100034213	4 x wiper blades	\$143.56	
031154	29/08/2024	MINISTER OF FINANCE	2025-Q1-8	Apr-Jun/24 IHIT costs & adjustments	\$43,765.35	\$43,765.35
031155	29/08/2024	MINISTRY OF WATER LAND AND	WS1644376	2024 Water system#0216 LOTW rental	\$200.00	\$200.00
031156	29/08/2024	MURPHY Heather J	2024 Tax Refund	Refund Tax Overpay-530 5th Ave	\$1,170.96	\$1,170.96
031157	29/08/2024	MARTIN William	LDP 22/21 part	LDP 22/21 Rfnd 90%-67351 Tunnels Rd	\$1,980.00	\$1,980.00
031158	29/08/2024	NUCOR ENVIRONMENTAL SOLUTIONS LTD	23405	remove/dispose-asbestos-111 OHP Hwy	\$7,192.50	\$7,192.50
031159	29/08/2024	QUARMBY ENVIRONMENTAL LTD	2024-13	toxicity test-wastewater treatment plant	\$393.75	\$393.75
031160	29/08/2024	DECKER Diana	092024	Sep/24 Kennel contract services	\$1,890.00	\$1,890.00

**DISTRICT OF HOPE
A/P Cheque Listing
August 1-31, 2024**

Cheque #	Pay Date	Vendor Name	Invoice #	Description	Invoice Amount	Paid Amount
031161	29/08/2024	ROPER GREYELL LLP	1813930	Jul/24 service re:file#2009-1	\$498.97	\$498.97
031162	29/08/2024	UNIFIRST CANADA LTD	4593746	Aug 1/24 Unifirst mat cleaning	\$25.77	\$2,002.43
			4593749	Aug 1/24 Unifirst uniform & mat cleaning	\$323.09	
			4595896	Aug 8/24 Unifirst uniform & mat cleaning	\$513.71	
			4600149	Aug 22/24 Unifirst paper supplies	\$526.90	
			4600153	Aug 22/24 Unifirst uniform & mat cleanin	\$612.96	
031163	29/08/2024	SEWELL Cheryl	Firesmart Rebat	Firesmart rebate case#HFS824034-SEWELL	\$500.00	\$500.00
031164	29/08/2024	THURBER ENGINEERING LTD.	000231339	Rock scaling master plan-roads	\$12,967.82	\$12,967.82
031165	29/08/2024	ULINE CANADA CORPORATION	14676493	nitrile gloves x 12 boxes	\$374.41	\$374.41
031166	29/08/2024	UNIVERSAL TRAFFIC (258) LTD	362078	sign "slow"/sign brackets/posts	\$1,516.70	\$1,516.70
Total August 2024 Payments					\$1,037,829.13	\$1,037,829.13

Office of the Mayor

September 9, 2024

File No. 230-20

To Whom it May Concern:

Re: Letter of Support for the Mount Hope Senior Citizen Housing Society

On behalf of the Council of the District of Hope, please accept this letter of support for the Mount Hope Senior Citizen Housing Society's application to the New Horizons grant opportunity. Our understanding is that this funding will be used to purchase and install a heat pump for the Park Street Manor.

Park Street Manor, operated by the Mount Hope Senior Citizen Housing Society, offers our seniors independent living with personalized attention, home cooked meals, and affordability. The installation of a heat pump would provide residents with improved living conditions and a higher degree of comfort year-round. In addition, the installation would provide ease of maintenance and cost-savings that could further benefit the Society.

The District of Hope has supported the Mount Hope Senior Citizen Housing Society on many initiatives, through which they are able to provide an invaluable service. Therefore, on behalf of my organization, I ask that you support the Society through this grant opportunity so they can continue to contribute to the community for years to come.

Sincerely,

Victor Smith
Mayor